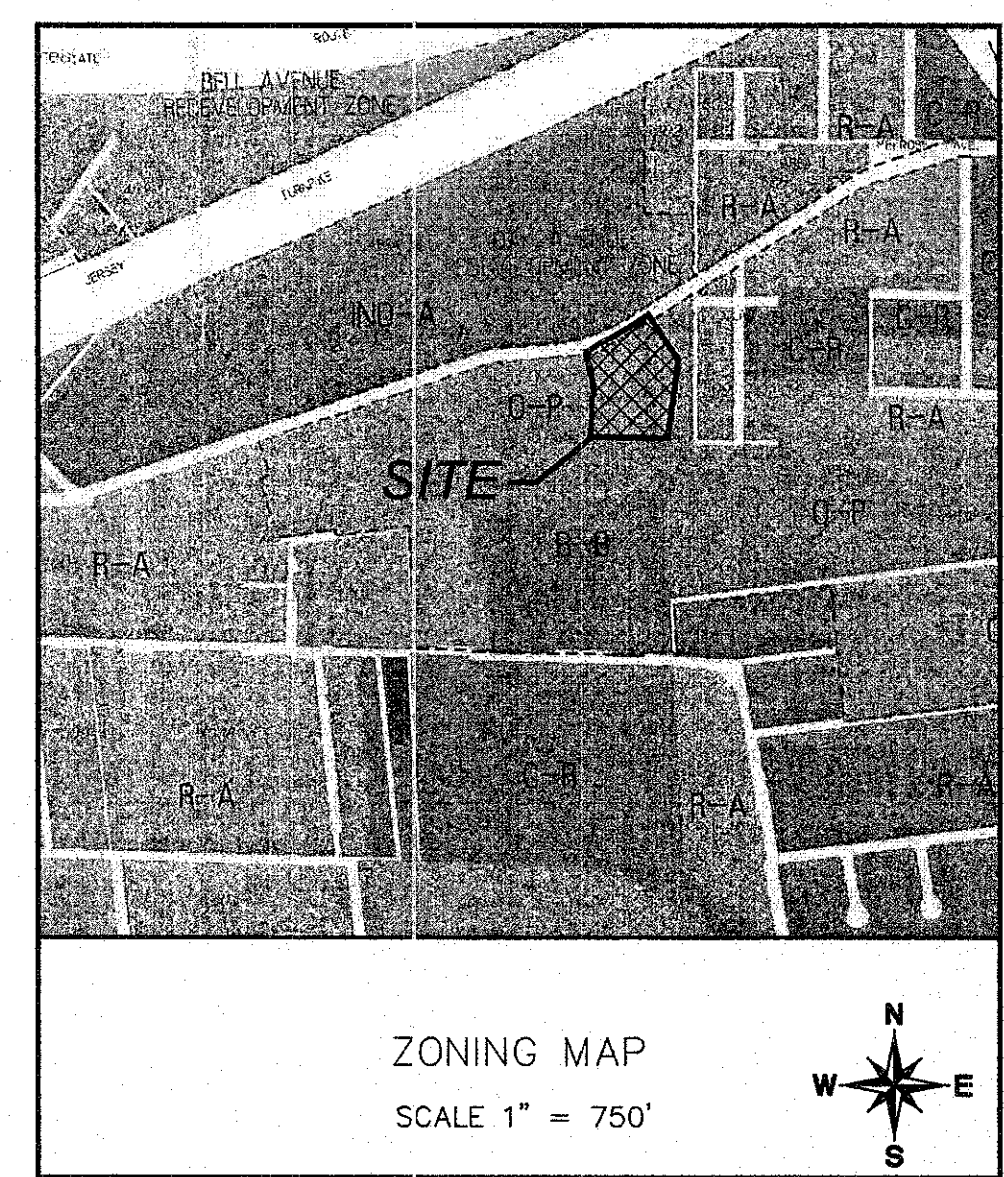
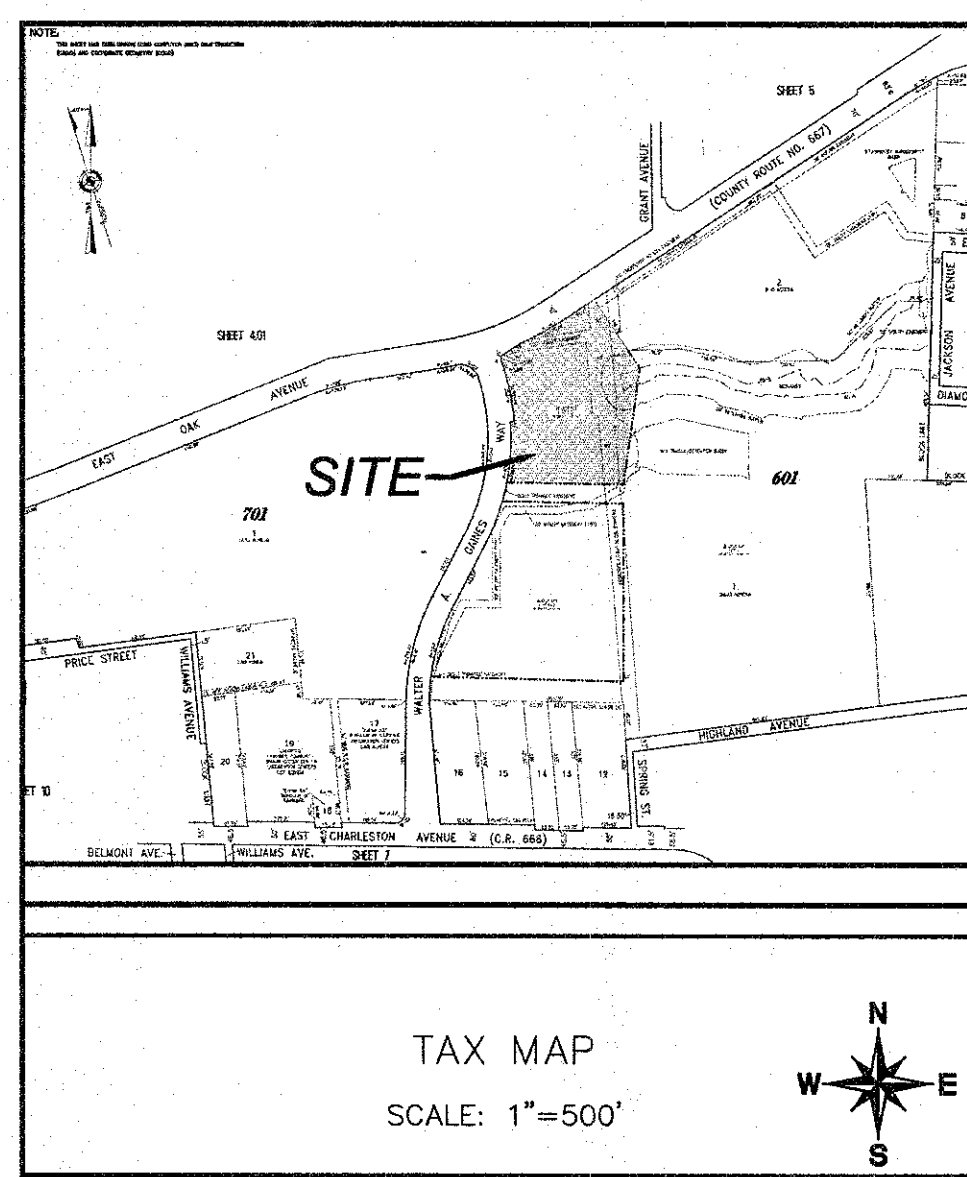
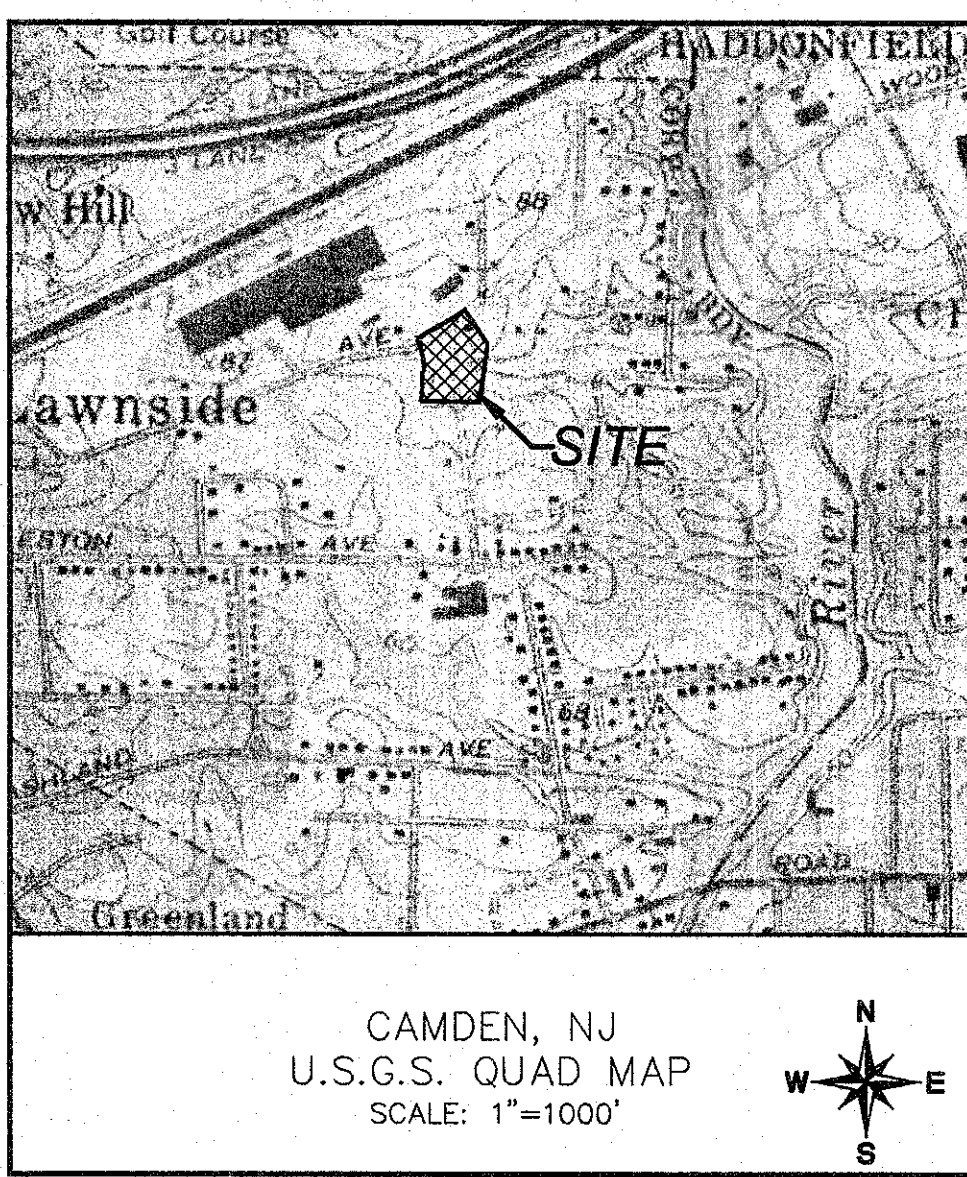


# HISTORIC BOROUGH OF LAWNSIDE WOODCREST STATION BUSINESS PARK

## FLEX BUILDING "C" WALTER A. GAINES WAY PLATE 7.01, BLOCK 601, LOT 1.01 PRELIMINARY AND FINAL MAJOR SITE PLAN



ZONING DISTRICT DESIGNATIONS		
LAST REVISED: 03-10-2011 - ORDINANCE NO. 02-17668		
RESIDENTIAL (R)	MINIMUM LOT AREA	
R-1A - SINGLE FAMILY DISTRICT	80,000 SF	
R-1B - SINGLE FAMILY DISTRICT	160,000 SF	
R-1C - SINGLE FAMILY DISTRICT	80,000 SF	
R-1D - SINGLE FAMILY DISTRICT	160,000 SF	
BUSINESS (B)		
B-1 - NEIGHBORHOOD DISTRICT		
B-2 - GENERAL DISTRICT		
INDUSTRIAL (I)		
I-1 - LIMITED DISTRICT (87,000 SF)		
I-2 - GENERAL DISTRICT		
CONSERVATION & RECREATION (C)		
C-1 - CONSERVATION & RECREATION DISTRICT		
C-2 - PLANNED OFFICE PARK DISTRICT		
REDEVELOPMENT AREAS		
RE-1 - REDEVELOPMENT AREA (800' X 100')		
RE-2 - REDEVELOPMENT AREA (800' X 100')		
RE-3 - REDEVELOPMENT AREA (800' X 100')		

INDEX	
SHEET NUMBER	SHEET TITLE
1	TITLE SHEET
2	OVERALL SITE PLAN
3	SITE PLAN
4	GRADING PLAN
5	UTILITY PLAN
6	SOIL EROSION & SEDIMENT CONTROL PLAN
7	SOIL EROSION, SEDIMENT CONTROL DETAILS & NOTES
8	SOIL COMPACTION MITIGATION PLAN
9	LIGHTING PLAN
10	CONSTRUCTION DETAILS
11	CONSTRUCTION DETAILS
12	CIRCULATION PLAN

\*PROJECT SITE WITHIN  
REDEVELOPMENT PLAN - AREA 2

### BOROUGH CERTIFICATIONS

THIS PLAN IS HEREBY APPROVED BY THE PLANNING BOARD OF THE BOROUGH OF LAWNSIDE.

PLANNING BOARD CHAIRPERSON	DATE
PLANNING BOARD SECRETARY	DATE
PLANNING BOARD ENGINEER	DATE

### OWNER/APPLICANT

VCC LAWNSIDE BUSINESS PARK I URBAN RENEWAL, LLC  
228 WEST LANDIS AVENUE, SUITE 300  
P.O. BOX 1517  
VINELAND, NJ 08362  
PHONE: (856) 794-4706  
FAX: (856) 794-4721

EXISTING	LEGEND	PROPOSED
---	50-FOOT RIPARIAN ZONE	N/A
---	50' WETLANDS BUFFER	N/A
---	TOP OF BANK	N/A
---	REGULATORY FLOODPLAIN (NUSFADP)	N/A
---	WETLANDS LINE	N/A
---	BOUNDARY LINE - PROPERTY IN QUESTION	N/A
---	ADJACENT PROPERTY LINES (NOT SURVEYED)	N/A
---	RIGHT-OF-WAY LINE (PROPOSED LOT LINE)	N/A
---	CENTERLINE	N/A
---	EASEMENT	N/A
---	EDGE OF WOODS	---
---	SANITARY SEWER	---
---	STORM DRAIN	---
---	WATER MAIN	---
---	SANITARY LATERAL	---
---	ROOF DRAIN	---
---	WATER SERVICE	---
---	TELEPHONE LINE	---
---	ELECTRIC LINE	---
---	GAS LINE	---
---	GATE VALVE	---
---	TEE	---
---	PLUG(CAP)	---
---	MAJOR CONTOUR LINE	---
---	MINOR CONTOUR LINE	---
---	GRADE	---
---	MEET EXISTING GRADE	---
---	TOP OF CURB ELEVATION	---
---	GUTTER ELEVATION	---
---	HANDICAP RAMP	---
---	CONCRETE CURB	---
---	DEPRESSED CONCRETE CURB	---
---	MOUNTABLE MONOLITHIC CURB & GUTTER	---
---	EDGE OF PAVEMENT	---
---	CONCRETE	---
---	CONCRETE HEADWALL	---
---	FLARED END SECTION	---
---	FIRE HYDRANT	---
---	SIGN	---
---	GAS VALVE	---
---	GUY WIRE	---
---	WATER VALVE	---
---	STREET LIGHT POLE	---
---	TELECOMMUNICATIONS BOX	---
---	TRAFFIC SIGNAL POLE	---
---	UTILITY POLE	---
---	'B' INLET	---
---	'E' INLET	---
---	'A' INLET	---
---	MANHOLE - SANITARY SEWER	---

THE FOLLOWING IS A LIST OF PROPERTY OWNERS LOCATED WITHIN 200 FEET OF BLOCK 601, LOT 1.01 AS PROVIDED BY THE BOROUGH OF LAWNSIDE TAX ASSESSOR ON FEBRUARY 24, 2021.

BLOCK	LOT	PROPERTY OWNER
405	1	EDISON CORP C/O BT - NEWYO LLC TAX DEPT PO BOX 28008 ATLANTA, GA 30358
601	1	VCC LAWNSIDE BUS PK I REN LLC 228 LANDIS AVE ST 300 VINELAND, NJ 08360
601	2	STATION OAK PARTNERS URBAN RENEWAL 800 S LIVINGSTON AVE #102 LIVINGSTON, NJ 07039
701	1	NEW JERSEY AMERICAN WATER CO INC 1025 LAUREL OAK RD VOORHEES, NJ 08043

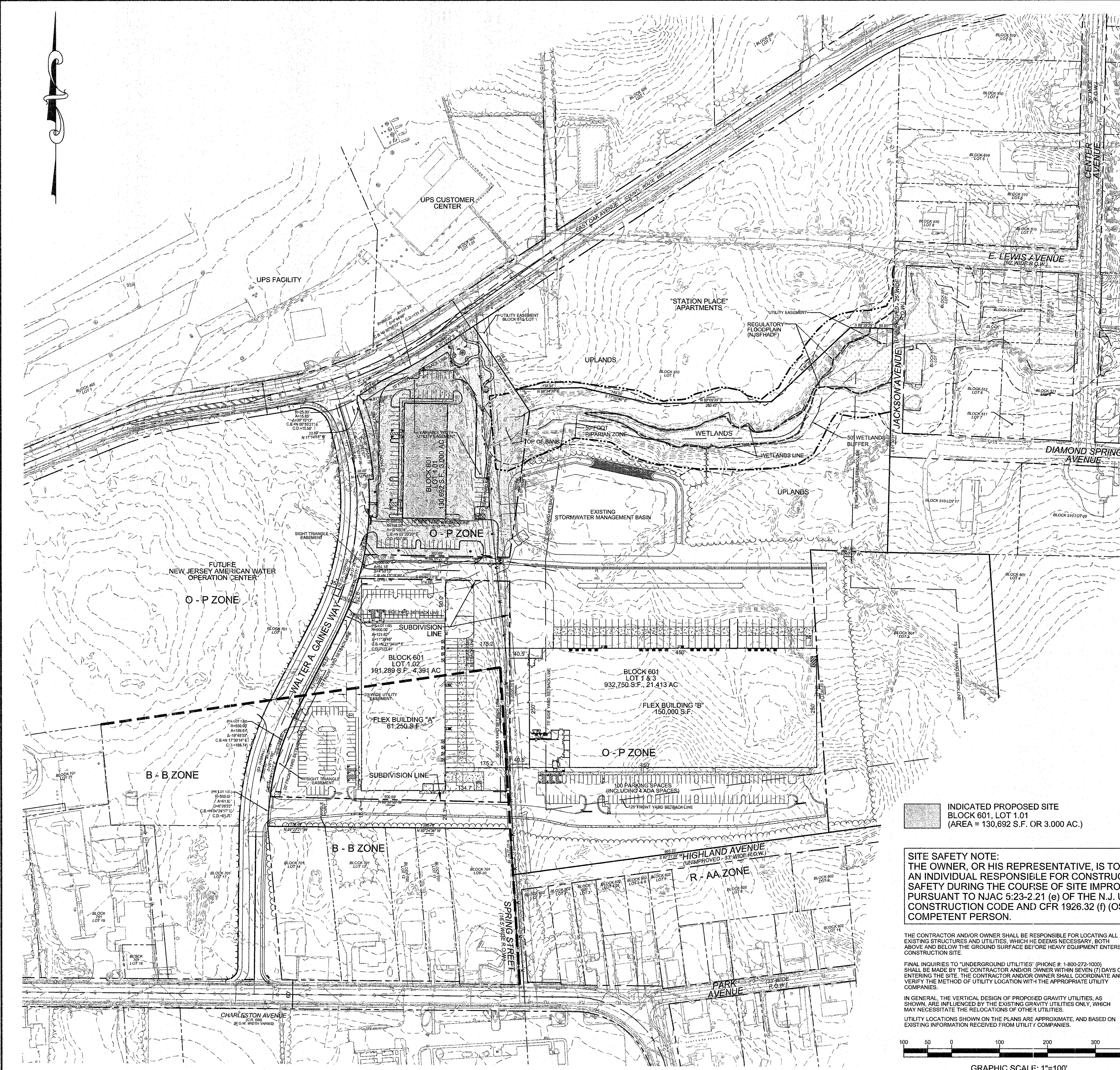
THE FOLLOWING IS A LIST OF PUBLIC UTILITY, CABLE TELEVISION COMPANY, OR LOCAL UTILITY WHICH POSSESSES A RIGHT-OF-WAY OR EASEMENT WITHIN THE MUNICIPALITY AND WHICH HAS REGISTERED WITH THE MUNICIPALITY TO RECEIVE NOTICE.

- PUBLIC SERVICE ELECTRIC & GAS**  
MANAGER-CORPORATE PROPERTIES  
80 PARK PLAZA, T6B  
NEWARK, NJ 07102
- VERIZON**  
REAL ESTATE DEPARTMENT  
LAND USE MATTERS  
650 PARK AVENUE  
EAST ORANGE, NJ 07017
- CONNECTIV**  
REAL ESTATE DEPARTMENT  
5100 HARDING HIGHWAY, SUITE 396  
MAYS LANDING, NJ 08330
- COMCAST**  
1250 HADDONFIELD-BERLIN ROAD  
CHERRY HILL, NJ 08003
- SOUTH JERSEY GAS COMPANY**  
MR. CHUCH DIPPLO, ENGINEER  
1 SOUTH JERSEY PLAZA  
FOLSOM, NJ 08057
- NEW JERSEY AMERICAN WATER COMPANY**  
213 CARRIAGE LANE  
DELRAN, NJ 08075
- CAMDEN COUNTY PLANNING BOARD**  
2311 EGG HARBOR ROAD  
LINDENWOLD, NJ 08021
- CAMDEN COUNTY SOIL CONSERVATION DISTRICT**  
423 COMMERCE LANE, SUITE 1  
WEST BERLIN, NJ 08061
- CAMDEN COUNTY MUNICIPAL UTILITIES AUTHORITY**  
1645 FERRY AVENUE  
CAMDEN, NJ 08104
- NJ DEPARTMENT OF TRANSPORTATION**  
1035 PARKWAY AVENUE, CN 613  
TRENTON, NJ 08625
- COLONIAL PIPELINE COMPANY**  
10 ELBO AVENUE  
MOUNT LAUREL, NJ 08054
- SOHIO PIPELINE COMPANY**  
PO BOX 34855, TAX DEPARTMENT  
CLEVELAND, OHIO 44101
- TRANSCONTINENTAL GAS PIPELINE COMPANY**  
3200 SOUTH WOOD AVENUE  
LINDEN, NJ 07036

## BOROUGH OF LAWNSIDE CAMDEN COUNTY, NEW JERSEY

REVISION NO. 2: CHANGE TITLE BLOCK NAME. REVISION NO. 1: REVISED PER REMINGTON & VERNICK ENGINEERS REVIEW LETTER DATED 4/15/21 AND ADDED POCKET PARK.		DESIGNED: VAK DRAWN: TSW CHECKED: EPB	
DATE SIGNED: 5-6-21	EDWARD P. BRADY	NO. 1	DATE 04/28/21
		NO. 2	DATE 05/06/21
TITLE SHEET		HISTORIC BOROUGH OF LAWNSIDE WOODCREST STATION BUSINESS PARK BUILDING 'C' PLATE 7.01, BLOCK 601, LOT 1.01 BOROUGH OF LAWNSIDE, CAMDEN COUNTY, NJ	
Taylor Wiseman & Taylor ENGINEERS / SURVEYORS / SCIENTISTS 124 Galther Drive, Suite 150, Mt Laurel, NJ 08054 TELEPHONE: (856) 235-7200 FAX: (856) 722-6250 www.taylorwiseman.com NJ CERTIFICATE OF AUTHORIZATION NO. 24GA28032900		SCALE: AS SHOWN DATE: FEBRUARY 24, 2021 DRAWING NO. 021-17854-BLDGCSPP SHEET: 1 OF 12	





NOTES:

- OWNER/APPLICANT: VCC LAWNESIDE BUSINESS PARK I URBAN RENEWAL, LLC  
228 WEST LANDIS AVENUE, SUITE 300  
VINELAND, NJ 08362  
PHONE: (856) 794-4706  
FAX: (856) 794-4721
- ZONING DISTRICT: REDEVELOPMENT PLAN - AREA 2 AND (O-P) PLANNED OFFICE PARK DISTRICT
  - TRACK IS IDENTIFIED AS PROPOSED BLOCK 601, LOT 1.01 CONTAINING AN AREA OF 3.00 ACRES.
  - BLOCK AND LOT NUMBERS REFER TO THE OFFICIAL TAX MAPS OF THE BOROUGH OF LAWNESIDE, CAMDEN COUNTY, NEW JERSEY, PLATE NO. 7.01.
  - PLAN BASED ON N.J.S.P.C.S. NAD '83 (2011), PLAN SCALED TO GROUND AT POINT 1011  
GROUND SCALE FACTOR: 1.0000728748  
GROUND SCALE ORIGIN: N:378167.737 E:347103.224 Z:43.098  
VERTICAL DATUM: NAVD 1988
  - OVERALL OUTBOUND INFORMATION TAKEN FROM PLAN ENTITLED "MAJOR SUBDIVISION PLAN, BLOCK 507 LOTS 1 & 2, BLOCK 508 LOT 1, BLOCK 509 LOTS 1-3, BLOCK 510 LOTS 1-3 & 9-16, BLOCK 601 LOTS 1 & 2, BLOCK 701 LOTS 1-9 & 15-17, BLOCK 1004 LOTS 28-33, BOROUGH OF LAWNESIDE, CAMDEN COUNTY, NEW JERSEY" PREPARED BY TAYLOR WISEMAN & TAYLOR, DWG. NO. 2018-17854-LAWNESIDE-SUBM1 SHEETS 1-5 OF 5, DATED JUNE 14, 2018, REVISED TO APRIL 8, 2019, FILED IN THE CAMDEN COUNTY CLERK'S OFFICE ON JUNE 21, 2019 IN BOOK 918, PAGE 14.
  - OUTBOUND INFORMATION FOR BLOCK 601, LOT 1.01 TAKEN FROM PLAN ENTITLED "BOUNDARY & TOPOGRAPHY SURVEY, BLOCK 601, LOT 1.01, BOROUGH OF LAWNESIDE, CAMDEN COUNTY, NEW JERSEY" PREPARED BY TAYLOR WISEMAN & TAYLOR, DWG. NO. 2021-17854-B601-1.01-TOPO, SHEET 1 OF 1, DATED FEBRUARY 24, 2021.
  - PLANIMETRIC FEATURES SHOWN ARE FROM PLAN REFERENCED AT NOTE 5 AS TAKEN FROM AERIAL PHOTOGRAPHY PROVIDED BY AXIS GEOSPATIAL, LLC AND SUPPLEMENTED BY AN ACTUAL FIELD SURVEY BY TAYLOR WISEMAN & TAYLOR LAST UPDATED IN APRIL 2018. DATE OF PHOTOGRAPHY IS MARCH 28, 2013. NOTE THAT SITE IS CURRENTLY UNDER CONSTRUCTION AND NOT ACCESSIBLE AT THIS TIME TO PLOT EXISTING SITE CONDITIONS.
  - FRESHWATER WETLANDS LINE TAKEN FROM PLAN ENTITLED "WETLANDS LOCATION PLAN, BLOCK 507 LOTS 1 & 2, BLOCK 508 LOT 1, BLOCK 509 LOTS 1-3, BLOCK 510 LOTS 1-3 & 9-16, BLOCK 601 LOT 1, BLOCK 701 LOTS 1-9 & 15-17, BLOCK 1004 LOTS 28-33, BOROUGH OF LAWNESIDE, CAMDEN COUNTY, NEW JERSEY," PREPARED BY TAYLOR WISEMAN & TAYLOR, REVISED TO 8/14/2017, DRAWING NO. 2017-17854-LAWNESIDE-WETL2, L.O.I. APPROVED BY NJDEP #0421-17-0001.1 FW170001.
  - ALL MATERIALS, METHODS AND DETAILS OF CONSTRUCTION IMPROVEMENTS SHALL CONFORM TO THE REGULATIONS OF THE BOROUGH OF LAWNESIDE, THE COUNTY OF CAMDEN, THE STATE OF NEW JERSEY, AND/OR THE APPROPRIATE UTILITY COMPANY, WHICHEVER REGULATION TAKES PRECEDENCE, IN THE EVENT OF CONTRADICTION, THE GREATER SPECIFICATION WILL TAKE PRECEDENCE.
  - THE OWNER OR HIS REPRESENTATIVE IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO NJAC 5:23-2.21(e) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32(f) (OSHA COMPETENT PERSON).

LOT REQUIREMENTS (PER ORDINANCE NO. 01-2018)	REDEVELOPMENT PLAN AREA 2 REQUIREMENTS	(O-P) PLANNED OFFICE PARK DISTRICT REQUIREMENTS	BLOCK 601 LOT 1.01
MINIMUM LOT AREA	N/A	3 AC	3.000 AC
MAXIMUM BUILDING HEIGHT	45 FEET (4 STORIES)	N/A	< 45 FEET
MINIMUM OPEN SPACE	20%	N/A	42.1%(1,262 AC)
MAXIMUM IMPERVIOUS SURFACE COVERAGE	80%	N/A	57.9%(1,738 AC)
MINIMUM SEPARATION BETWEEN BUILDINGS	15 FEET	N/A	217.97 FEET
MINIMUM SETBACK OF STRUCTURES FROM ANY ROADWAYS	15 FEET	N/A	82 FEET
MINIMUM SIDE YARD SETBACK	N/A	75 FEET	78 FEET
MINIMUM REAR YARD SETBACK	N/A	75 FEET	134 FEET

**FLEX BUILDING "C" (21,600 S.F.) PARKING REQUIREMENT**  
(PER SECTION 96-94(1))

1 PARKING SPACE FOR EACH 300 S.F. FOR OFFICE SPACE  
1 PARKING SPACE FOR EACH 400 S.F. FOR INDUSTRIAL SPACE

$2,400 \text{ S.F.} \times (1 \text{ SPACE} / 300 \text{ S.F.}) = 8$   
 $19,200 \text{ S.F.} \times (1 \text{ SPACE} / 400 \text{ S.F.}) = 48$   
**56 REQUIRED**

**PARKING BREAKDOWN PROVIDED FOR FLEX BUILDING "C"**

54 PROPOSED SPACES (9' X 18')  
4 PROPOSED ADA SPACES (9' X 18')  
58 TOTAL SPACES PROVIDED (103.6% ABOVE REQUIRED)

6 PROPOSED BOX TRUCK/CARGO VAN SPACES (10' X 30')  
1 PROPOSED TRAILER LOADING SPACE

**SUBMISSION WAIVER:**  
1) ARCHITECTURAL PLAN & ELEVATION.

INDICATED PROPOSED SITE  
BLOCK 601, LOT 1.01  
(AREA = 130,692 S.F. OR 3.000 AC.)

**SITE SAFETY NOTE:**  
THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO NJAC 5:23-2.21 (e) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32 (f) (OSHA COMPETENT PERSON).

THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING STRUCTURES AND UTILITIES, WHICH HE DEEMS NECESSARY, BOTH ABOVE AND BELOW THE GROUND SURFACE BEFORE HEAVY EQUIPMENT ENTERS THE CONSTRUCTION SITE.

FINAL INQUIRIES TO "UNDERGROUND UTILITIES" (PHONE #: 1-800-272-1000) SHALL BE MADE BY THE CONTRACTOR AND/OR OWNER WITHIN SEVEN (7) DAYS OF ENTERING THE SITE. THE CONTRACTOR AND/OR OWNER SHALL COORDINATE AND VERIFY THE METHOD OF UTILITY LOCATION WITH THE APPROPRIATE UTILITY COMPANIES.

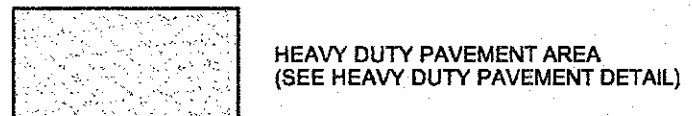
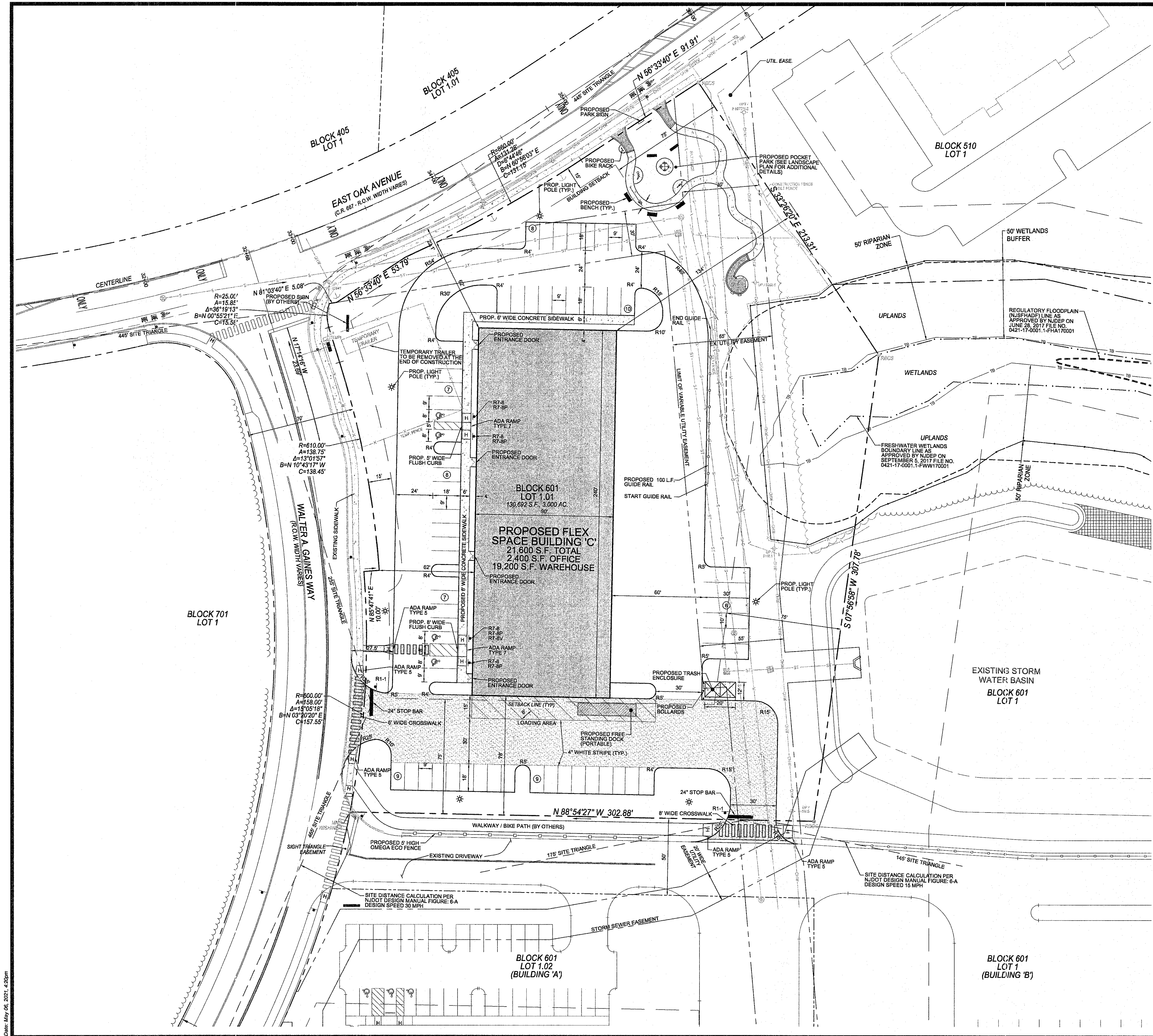
IN GENERAL, THE VERTICAL DESIGN OF PROPOSED GRAVITY UTILITIES, AS SHOWN, ARE INFLUENCED BY THE EXISTING GRAVITY UTILITIES ONLY, WHICH MAY NECESSITATE THE RELOCATIONS OF OTHER UTILITIES.

UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE, AND BASED ON EXISTING INFORMATION RECEIVED FROM UTILITY COMPANIES.

GRAPHIC SCALE: 1"=100'

DESIGNED: VAK DATE: 5-6-21		DRAWN: TSW		CHECKED: EPE	
DATE SIGNED: SAMUEL S. PREVITERA		DATE SIGNED: EDWARD P. BRADY		REVISIONS:	
				NO. DATE	
				1 04/29/21	
				2 05/08/21	
<b>OVERALL SITE PLAN</b>					
<b>HISTORIC BOROUGH OF LAWNESIDE WOODCREST STATION BUSINESS PARK BUILDING 'C'</b>					
PLATE 7.01, BLOCK 601, LOT 1.01 BOROUGH OF LAWNESIDE, CAMDEN COUNTY, NJ					
<b>Taylor Wiseman &amp; Taylor</b> ENGINEERS / SURVEYORS / SCIENTISTS 124 Gallner Drive, Suite 150, Mt Laurel, NJ 08054 TELEPHONE: (856) 235-7200 FAX: (856) 722-9250 www.taylorwiseman.com					
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA28032800					
NJ LAND SURVEYOR LICENSE NO. 24GS03897600		N.J. PROFESSIONAL ENGINEER NO. 24GE03283600		SCALE: 1"=100'	
				DATE: FEBRUARY 24, 2021	
				DRAWING NO. 021-17854-BLDGSP	
				SHEET: 2 OF 12	





THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING STRUCTURES AND UTILITIES, WHICH HE DEEMS NECESSARY, BOTH ABOVE AND BELOW THE GROUND SURFACE BEFORE HEAVY EQUIPMENT ENTERS THE CONSTRUCTION SITE.

FINAL INQUIRIES TO "UNDERGROUND UTILITIES" (PHONE #: 1-800-272-1000) SHALL BE MADE BY THE CONTRACTOR AND/OR OWNER WITHIN SEVEN (7) DAYS OF ENTERING THE SITE. THE CONTRACTOR AND/OR OWNER SHALL COORDINATE AND VERIFY THE METHOD OF UTILITY LOCATION WITH THE APPROPRIATE UTILITY COMPANIES.

IN GENERAL, THE VERTICAL DESIGN OF PROPOSED GRAVITY UTILITIES, AS SHOWN, ARE INFLUENCED BY THE EXISTING GRAVITY UTILITIES ONLY, WHICH MAY NECESSITATE THE RELOCATIONS OF OTHER UTILITIES.

UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE, AND BASED ON EXISTING INFORMATION RECEIVED FROM UTILITY COMPANIES.



GRAPHIC SCALE: 1"=30'

REVISION NO. 2: CHANGE TITLE BLOCK NAME.  
REVISION NO. 1: REVISED PER REMINGTON & VERNICK ENGINEERS REVIEW LETTER DATED 4/15/21 AND ADDED POCKET PARK.

DESIGNED	DRAWN	CHECKED
VAK	TSW	EPB
DATE SIGNED:	NO.	DATE
5-6-21	1	04/29/21
	2	05/06/21

EDWARD P. BRADY

*Edward P. Brady*

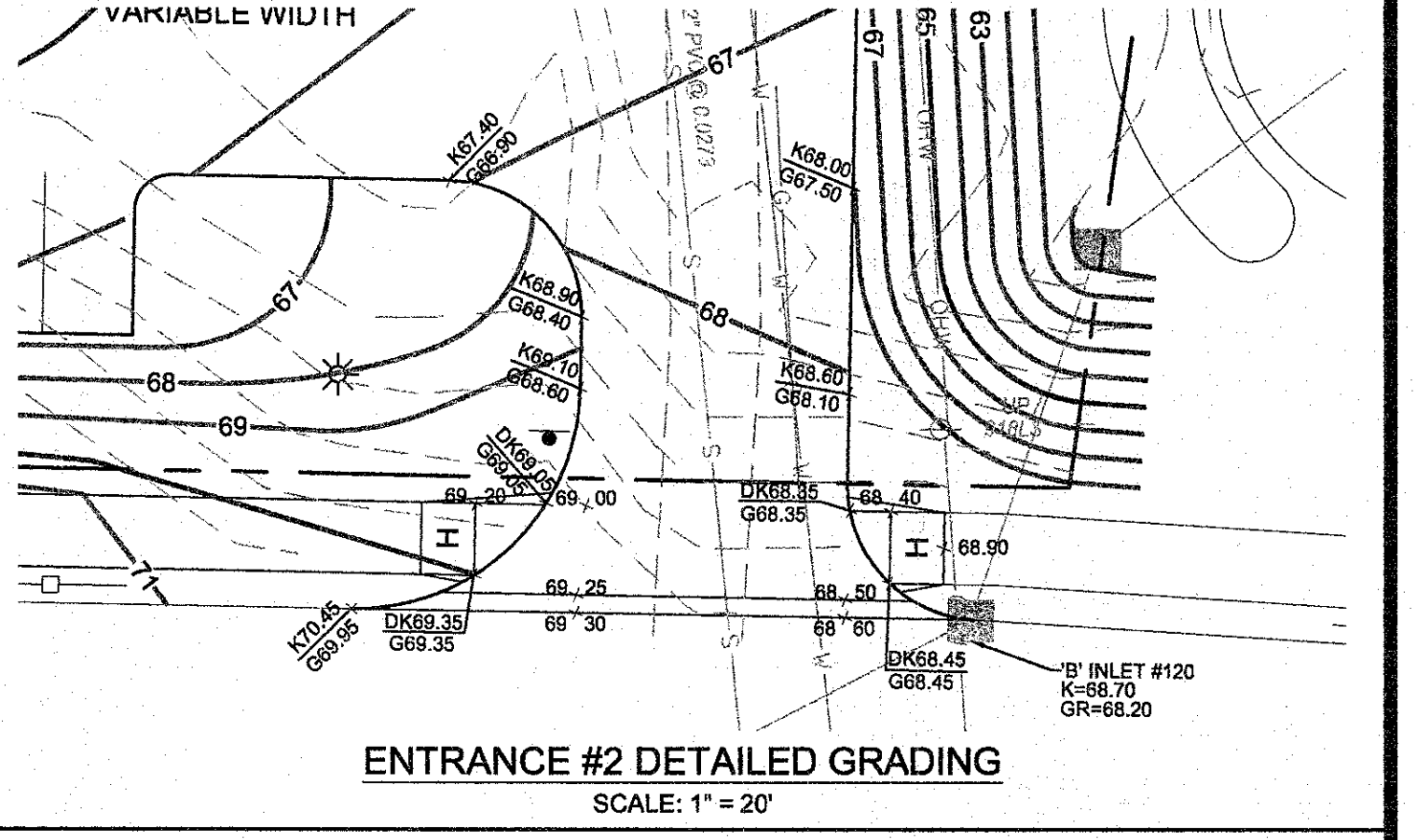
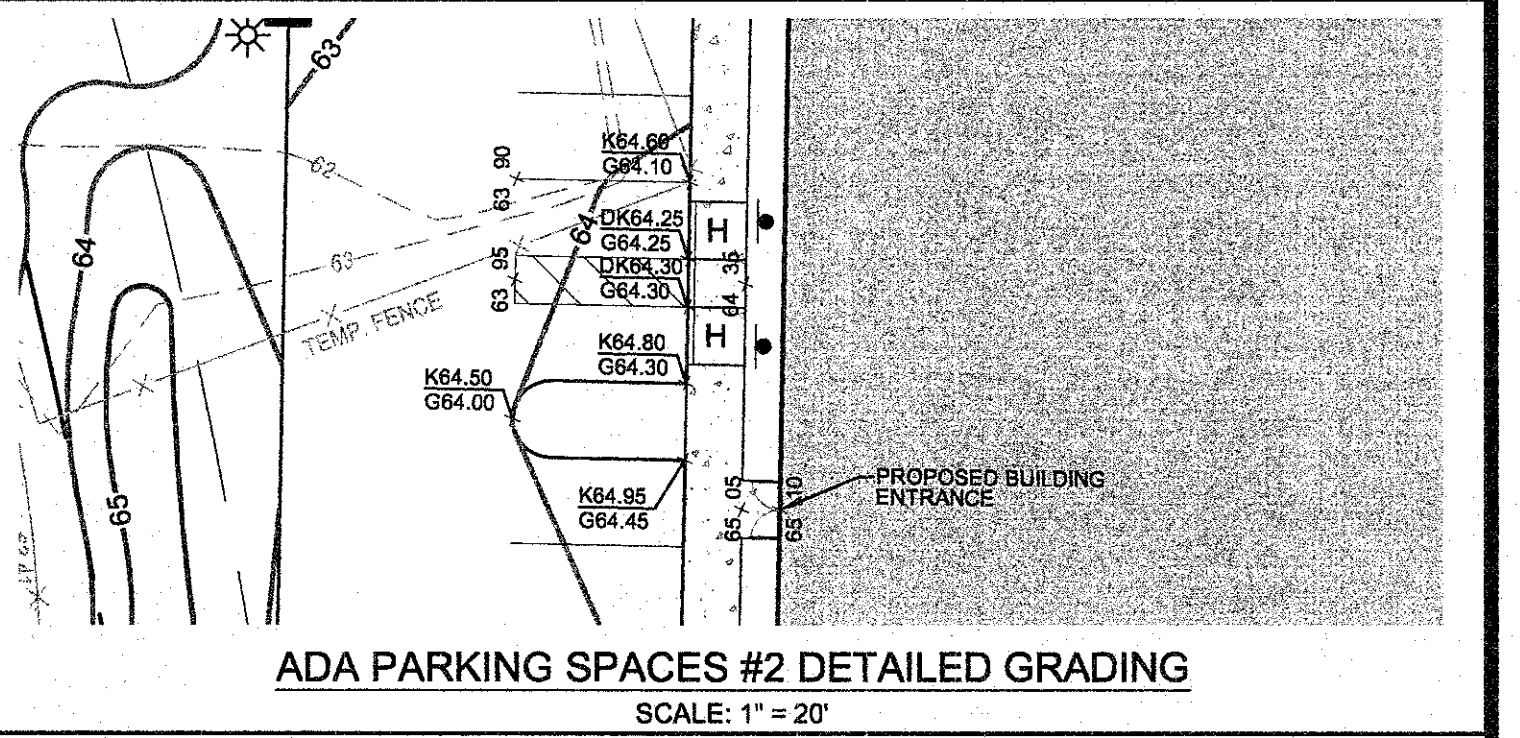
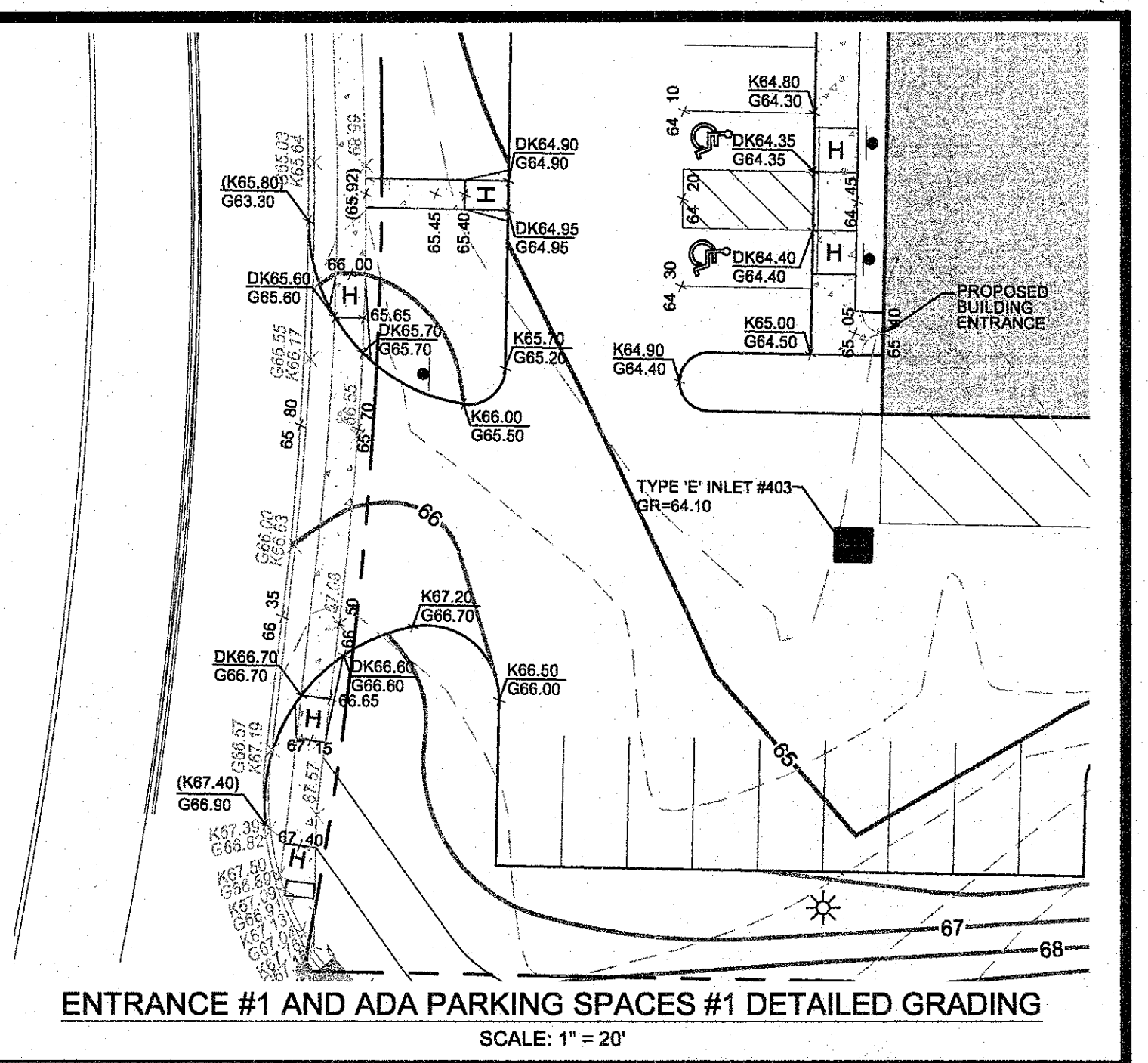
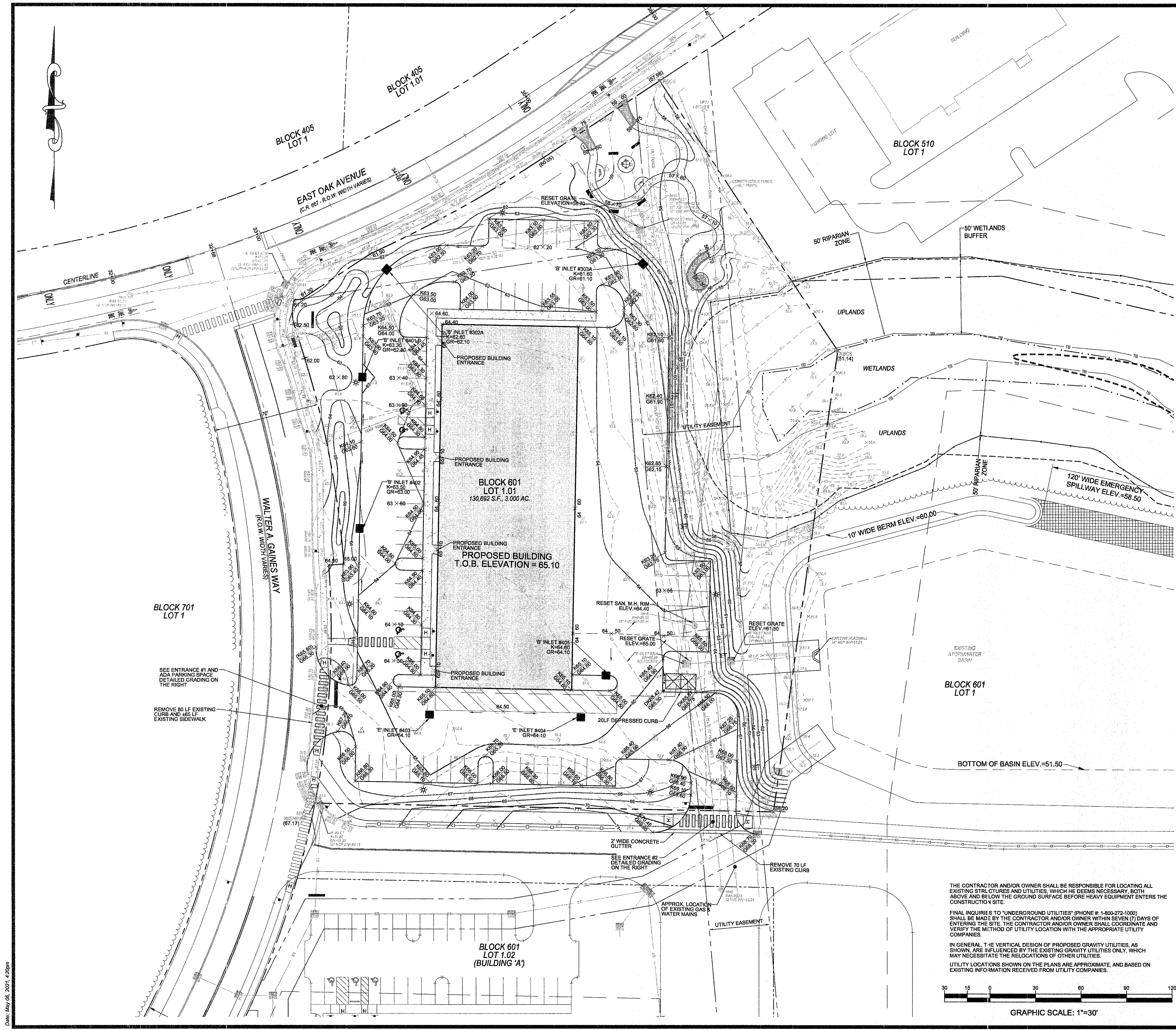
**SITE PLAN**  
**HISTORIC BOROUGH OF LAWNESIDE**  
**WOODCREST STATION BUSINESS PARK**  
**BUILDING 'C'**  
PLATE 7.01, BLOCK 601, LOT 1.01  
BOROUGH OF LAWNESIDE, CAMDEN COUNTY, NJ



**Taylor Wiseman & Taylor**  
ENGINEERS / SURVEYORS / SCIENTISTS  
124 Gaither Drive, Suite 150, Mt Laurel, NJ 08054  
TELEPHONE: (856) 235-7200 FAX: (856) 722-9250  
www.taylorwiseman.com  
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA26032900

N.J. PROFESSIONAL ENGINEER NO. 24GE03283600	SCALE: 1"=30'	DATE: FEBRUARY 24, 2021	DRAWING NO. 021-17854-BLDGSP	SHEET: 3 OF 12
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**GRADING NOTES:**

- ALL CONSTRUCTION MATERIALS, METHODS OF INSTALLATION AND TEST SHALL BE SUBJECT TO THE APPROVAL OF THE MUNICIPALITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MARKOUT OF ALL EXISTING UTILITIES.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INDIVIDUALLY AND SHALL NOTIFY THE UNDERGROUND UTILITIES NOTIFICATION SERVICE AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY EXCAVATION BY CALLING 1-800-272-1000.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL INSTALL SOIL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED PLANS AND PROVIDE 72 HOUR NOTICE TO THE CAMDEN COUNTY CONSERVATION DISTRICT.
- THE CONTRACTOR SHALL NOT PLACE ANY MATERIAL OR DISTURB ANY SOIL WITHIN FIVE FEET (5') OF THE ADJOINING PROPERTY LINES OR RIGHT OF WAY. IF TEMPORARY STORAGE OF MATERIAL IS TO BE PLACED OUTSIDE OF THE PROPERTY, WRITTEN PERMISSION OF PROPERTY OWNER DIRECTLY INVOLVED SHALL BE OBTAINED.
- THERE SHALL BE NO CLEARING BEYOND THE CLEARING LIMITS SHOWN ON THE PLANS AND THESE LIMITS SHALL BE STAKED IN THE FIELD PRIOR TO ANY CLEARING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING, GRUBBING, PAVING, TOPSOILING, FERTILIZING AND SEEDING OR OTHERWISE RESTORING ALL AREAS DISTURBED BY HIS/HER ACTIVITIES. ROAD PAVEMENT REPLACEMENT AND ALL RESTORATION IN ROADS SHALL MEET THE REQUIREMENTS OF THE BOROUGH ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE ACROSS ALL PROPOSED IMPROVEMENTS, WITH A MINIMUM SLOPE OF 0.50% ALONG CURBING AND ACROSS PAVING.
- A MINIMUM SLOPE OF 1.5% AND A MAXIMUM SLOPE OF 3:1 (H:V) SHALL BE PROVIDED IN ALL UNPAVED TRANSITION GRADING AREAS, UNLESS NOTED OTHERWISE.
- PROPOSED FILL MATERIAL SHALL BE PLACED IN 8-INCH LIFTS AND COMPACTED TO 95% MAXIMUM DRY DENSITY, AS DETERMINED BY PROCTOR TESTING OF FILL MATERIAL. PLACEMENT OF FILL MATERIAL SHOULD BE OVERSEEN AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER.
- ALL PAVEMENT SUBGRADE PREPARATION MUST BE APPROVED BY THE BOROUGH ENGINEER.
- GRADING FOR ALL SERVICE WALKS WILL BE ADDED ONCE ARCHITECTURAL PLANS ARE COMPLETED.
- PROPOSED FLEX BUILDING C-10 IS TO BE CONSTRUCTED ON CONCRETE SLAB.
- THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21(b) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.301(GOSHAW COMPETENT PERSON).

REVISION NO. 2: CHANGE TITLE BLOCK NAME.  
REVISION NO. 1: REVISED PER REMINGTON & VERNICK ENGINEERS REVIEW LETTER DATED 4/15/21 AND ADDED POCKET PARK.

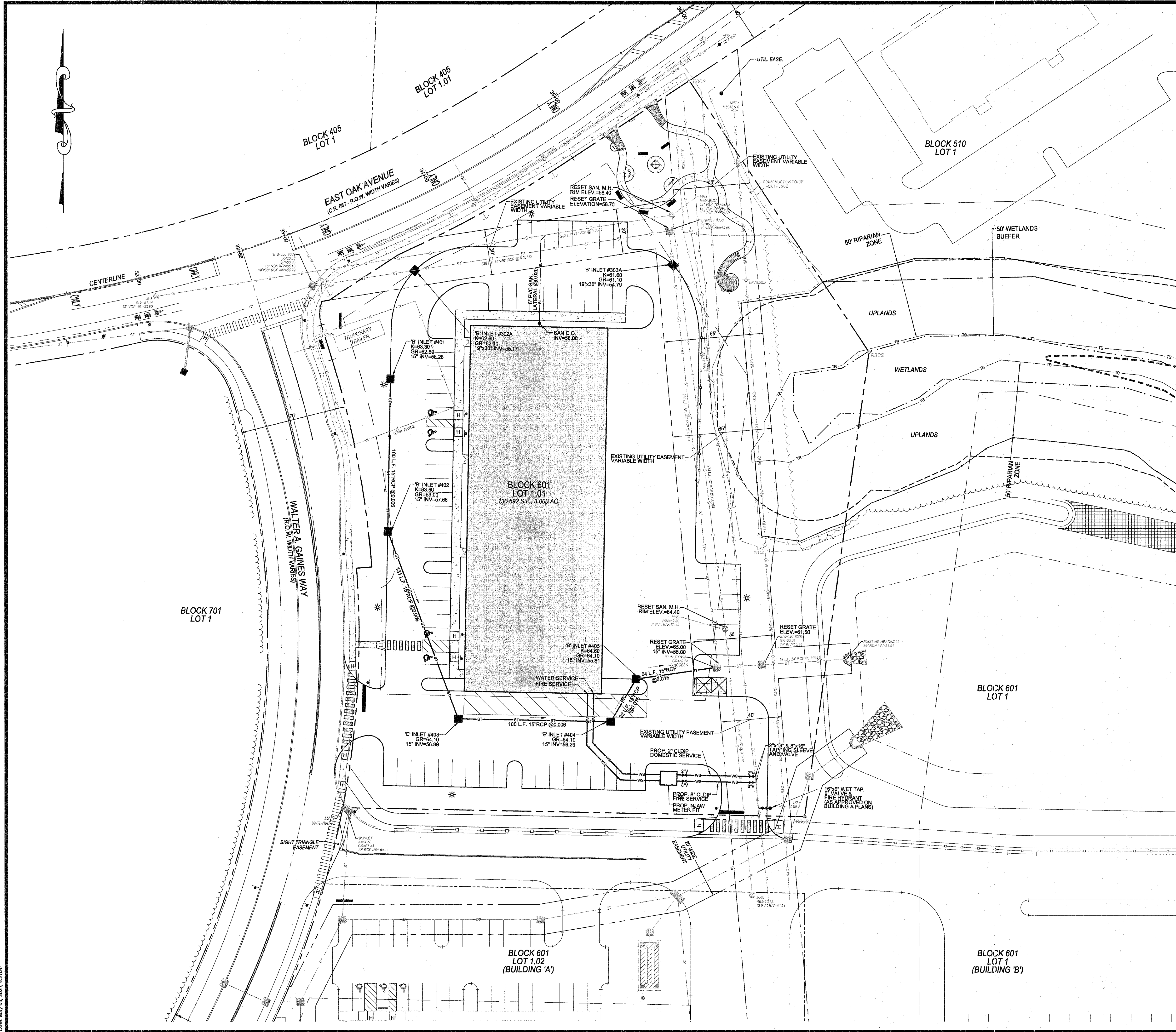
DESIGNED:	DRAWN:	CHECKED:	DATE:
VAK	TSW	EPB	5-6-21
EDWARD P. BRADY		NO.	DATE
		1	04/29/21
		2	05/08/21

**GRADING PLAN**  
HISTORIC BOROUGH OF LAWNESIDE  
WOODCREST STATION BUSINESS PARK  
BUILDING 'C'  
PLATE 7.01, BLOCK 601, LOT 1.01  
BOROUGH OF LAWNESIDE, CAMDEN COUNTY, NJ

**Taylor Wiseman & Taylor**  
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124 Gallher Drive, Suite 150, Mt Laurel, NJ 08054  
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www.taylorwiseman.com  
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA28032800

N.J. PROFESSIONAL ENGINEER NO. 24GE03283600  
SCALE: 1"=30'  
DATE: FEBRUARY 24, 2021  
021-17854-BLDGSP  
SHEET: 4 OF 12





UTILITY NOTES:

1. THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING STRUCTURES AND UTILITIES, WHICH HE DEEMS NECESSARY, BOTH ABOVE AND BELOW THE GROUND SURFACE BEFORE HEAVY EQUIPMENT ENTERS THE CONSTRUCTION SITE.
2. FINAL INQUIRIES TO "UNDERGROUND UTILITIES" (PHONE #: 1-800-272-1000) SHALL BE MADE BY THE CONTRACTOR AND/OR OWNER WITHIN SEVEN (7) DAYS OF ENTERING THE SITE. THE CONTRACTOR AND/OR OWNER SHALL COORDINATE AND VERIFY THE METHOD OF UTILITY LOCATION WITH THE APPROPRIATE UTILITY COMPANIES.
3. IN GENERAL, THE VERTICAL DESIGN OF PROPOSED GRAVITY UTILITIES, AS SHOWN, ARE INFLUENCED BY THE EXISTING GRAVITY UTILITIES ONLY, WHICH MAY NECESSITATE THE RELOCATIONS OF OTHER UTILITIES.
4. EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE, AND BASED ON EXISTING INFORMATION RECEIVED FROM UTILITY COMPANIES.
5. ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND THROUGHOUT THE DEVELOPMENT IN ACCORDANCE WITH REGULATIONS OF LOCAL UTILITY COMPANIES AND BOROUGH OF LAWNSIDE.
6. ALL PROPOSED ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION AND OTHER PUBLIC UTILITY LINES SHALL BE INSTALLED UNDERGROUND. MINIMUM HORIZONTAL CLEARANCE BETWEEN PUBLIC UTILITY LINES AND WATER OR SEWER MAINS SHALL BE THREE (3) FEET.
7. WATERMAIN TO BE CONSTRUCTED BY NEW JERSEY AMERICAN WATER COMPANY. OWNER TO PURCHASE WATER METERS AND PITS FROM NEW JERSEY AMERICAN WATER COMPANY.
8. PROVIDE A MINIMUM OF FOUR FEET (4') COVER TO THE TOP OF PIPE OVER WATER MAINS.
9. COORDINATE GAS MAIN SIZE, METER SIZE, TIE-IN AND SERVICE ROUTE LOCATIONS WITH LOCAL GAS COMPANY.
10. REFER TO ARCHITECTURAL PLANS FOR INTERIOR UTILITY SERVICES AND CONNECTIONS WITHIN 5' OF THE BUILDINGS.
11. ALL GRAVITY SANITARY SEWER MAIN AND LATERALS SHALL BE PVC PIPE, SDR-35 CONFORMING TO ASTM D3034 WITH PUSH-ON JOINTS, UNLESS OTHERWISE SPECIFIED.
12. SANITARY SEWER PIPING AND POTABLE WATER PIPING SHALL BE SEPARATED BY A MINIMUM OF TEN (10) FEET HORIZONTALLY AND/OR EIGHTEEN (18) INCHES VERTICALLY. PLACED IN SEPARATE TRENCHES. WHERE THESE MINIMUM SEPARATION DISTANCES CANNOT BE MET, THE SANITARY SEWER SHALL BE IN CONCRETE FOR A DISTANCE OF TEN (10) FEET EACH SIDE OF THE WATER MAIN. DUCTILE IRON PIPE WITH SLIP-ON JOINTS MAY BE SUBSTITUTED FOR THE CONCRETE ENCASUREMENT. IN NO CASE SHALL THE VERTICAL CLEARANCE BETWEEN POTABLE WATER AND SANITARY SEWER MAINS BE LESS THAN ONE (1) FOOT.
13. THE MINIMUM VERTICAL CLEARANCE BETWEEN PVC SEWER MAINS AND STORM SEWER PIPE AT CROSSINGS SHALL BE ONE (1) FOOT. PROVIDE CONCRETE CRADLES WHEN THE VERTICAL CLEARANCE IS LESS THAN EIGHTEEN (18) INCHES.
14. STORMWATER PIPING SHALL BE CLASS III REINFORCED CONCRETE PIPE (UNLESS NOTED OTHERWISE). CLASS IV AND V HAVE BEEN NOTED. COVER OVER ALL PROPOSED REINFORCED CONCRETE PIPE SHALL BE IN ACCORDANCE WITH THE R.S.I.S. STANDARDS. HDPE PIPING FOR STORMWATER APPLICATIONS SHALL BE ADS N-12 HDPE PIPING WITH SOIL TIGHT JOINTS, UNLESS NOTED OTHERWISE.
15. ALL PRECAST CONCRETE INLETS SHALL CONFORM TO ASTM C-913 "PRECAST CONCRETE WATER AND WASTEWATER STRUCTURES".
16. ALL INLET AND MANHOLE PIPE OPENINGS SHALL BE SEALED WITH NON-SHRINK GROUT, OR APPROVED EQUAL.
17. ALL ROOF DRAIN PIPE SHALL BE CORRUGATED POLYETHYLENE PIPE N-12 MANUFACTURED BY ADVANCED DRAINAGE SYSTEM (ADS), OR APPROVED EQUAL.
18. ALL TRENCHES WILL BE BACKFILLED BY COMPACTION IN SIX (6) INCH LAYERS IN STRICT ACCORDANCE WITH THE TRENCH DETAILS AND SPECIFICATIONS.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL REPAIRS, REPLACEMENTS AND RESTORATION ASSOCIATED WITH ANY DAMAGE INFLICTED BY CONSTRUCTION ACTIVITIES UPON ANY EXISTING SANITARY, WATER MAIN, AND STORM SEWERS NOTED TO REMAIN.
20. HORIZONTAL ROOF DRAINS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE NEW JERSEY UNIFORM CONSTRUCTION CODE (NUCC) AND NATIONAL STANDARDS PLUMBING CODE (NSPC) (TABLE 13.6.2).
21. LOCATION OF UTILITY PAD FOR BUILDING 'C' SHALL BE ADDED UPON COMPLETION OF THE ARCHITECTURAL PLANS.
22. INSPECTION OF, OR FAILURE TO INSPECT ANY MATERIALS OR WORKMANSHIP BY STATE, COUNTY, BOROUGH OFFICIALS OR BY THE MUA ENGINEER SHALL IN NO WAY RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITIES TO PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS AND LAW.
23. ALL UTILITIES AND RELATED APPURTENANCES ON THE SITE SHALL BE LOCATED UNDERGROUND OR LOCATED IN THE BUILDING. WHERE OVERHEAD ELECTRIC OR TELEPHONE DISTRIBUTION SUPPLY LINES AND SERVICE CONNECTION HAVE BEEN INSTALLED FROM THOSE OVERHEAD LINES, THE CONNECTIONS FROM THE UTILITIES OVERHEAD LINES MUST BE INSTALLED UNDERGROUND.

VIDEO INSPECTION NOTE

A CCTV INSPECTION OF THE SEWER (SANITARY AND STORM) SYSTEM MUST BE PERFORMED AND REVIEWED PRIOR TO CONSTRUCTION. THE OWNER AND CONTRACTOR WILL BE RESPONSIBLE FOR ANY IMPROVEMENTS TO THE EXISTING INFRASTRUCTURE REQUIRED FOR THE CONNECTION OF THE PROPOSED UTILITY SERVICES.

INSPECTION TO INCLUDE VIDEO AND WRITTEN REPORT IDENTIFYING CONDITIONS AND LOCATION / DISTANCE TO ANY AREAS OF PIPE DAMAGE, DISPLACEMENT, SAGS, INTRUSIONS, ETC. PROVIDE COPY TO OWNER. OWNER'S ENGINEER AND MUNICIPAL ENGINEER PRIOR TO START OF CONSTRUCTION. RE-VIDEO INSPECT PIPE AFTER CONSTRUCTION AND INSTALLATION OF CONNECTIONS TO VERIFY / EVALUATE IMPACT FROM CONSTRUCTION ACTIVITY. REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES.

IMPERVIOUS / Pervious AREA BREAKDOWN

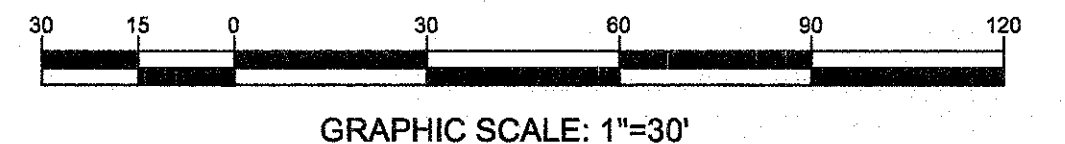
	AREA (AC.) / PERCENT
EXISTING IMPERVIOUS AREA ONSITE	0 ACRES / 0%
EXISTING GREEN AREA ONSITE	3.00 ACRES / 100%
PROPOSED IMPERVIOUS AREA CONVEYED BY THE REGIONAL BASIN	1.65 ACRES / 55%
PROPOSED IMPERVIOUS AREA FROM POCKET PARK	0.09 ACRES / 3%
PROPOSED GREEN AREA	1.26 ACRES / 42%

THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING STRUCTURES AND UTILITIES, WHICH HE DEEMS NECESSARY, BOTH ABOVE AND BELOW THE GROUND SURFACE BEFORE HEAVY EQUIPMENT ENTERS THE CONSTRUCTION SITE.

FINAL INQUIRIES TO "UNDERGROUND UTILITIES" (PHONE #: 1-800-272-1000) SHALL BE MADE BY THE CONTRACTOR AND/OR OWNER WITHIN SEVEN (7) DAYS OF ENTERING THE SITE. THE CONTRACTOR AND/OR OWNER SHALL COORDINATE AND VERIFY THE METHOD OF UTILITY LOCATION WITH THE APPROPRIATE UTILITY COMPANIES.

IN GENERAL, THE VERTICAL DESIGN OF PROPOSED GRAVITY UTILITIES, AS SHOWN, ARE INFLUENCED BY THE EXISTING GRAVITY UTILITIES ONLY, WHICH MAY NECESSITATE THE RELOCATIONS OF OTHER UTILITIES.

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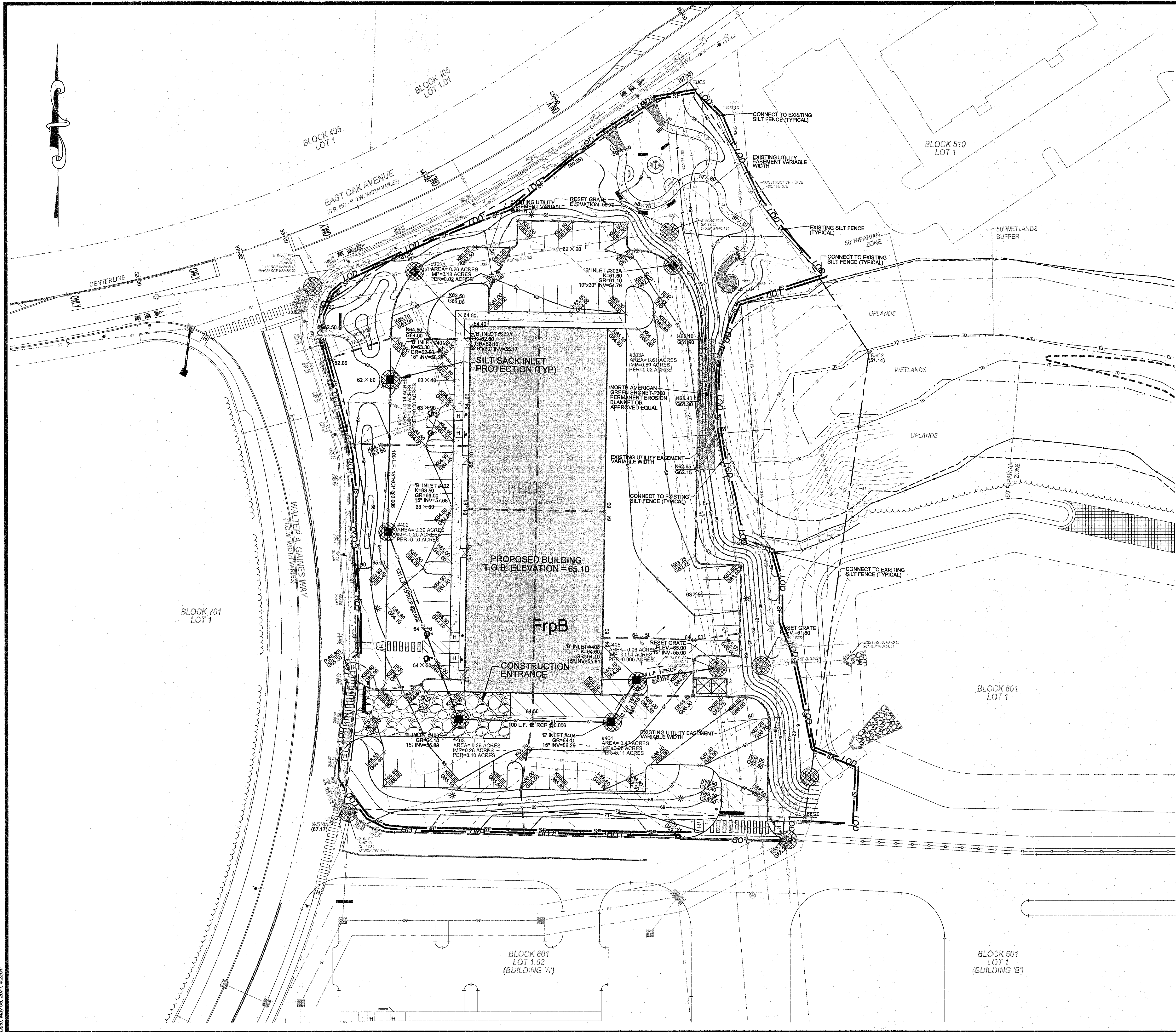
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VAK	TSW	EPB	
DATE SIGNED:	REVISIONS:	NO.	DATE
5-6-21		1	04/29/21
EDWARD P. BRADY		2	05/06/21

**UTILITY PLAN**  
**HISTORIC BOROUGH OF LAWNSIDE**  
**WOODCREST STATION BUSINESS PARK**  
**BUILDING 'C'**  
PLATE 7.01, BLOCK 601, LOT 1.01  
BOROUGH OF LAWNSIDE, CAMDEN COUNTY, NJ

**Taylor Wiseman & Taylor**  
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www.taylorwiseman.com  
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA28032900

N.J. PROFESSIONAL ENGINEER NO. 24GE03283000	SCALE: 1\"/>
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- SOIL EROSION LEGEND**
- SILT FENCE
  - REINFORCED SILT FENCE
  - STONE INLET PROTECTION
  - SILT SACK INLET PROTECTION
  - DRAINAGE AREA LINE
  - LIMIT OF DISTURBANCE
  - SOIL TYPE LIMIT
  - STABILIZED CONSTRUCTION ENTRANCE
  - TEMPORARY RISER
- SOILS LEGEND**
- FrpB FREEHOLD - DOWNER - URBAN LAND COMPLEX, 0 TO 5 PERCENT SLOPES.

- GENERAL NOTES:**
- THIS PLAN IS TO BE USED FOR SOIL EROSION, SEDIMENT CONTROL AND DRAINAGE AREA PURPOSES ONLY.
  - INLET SILT SACKS ARE TO BE USED AS A MEASURE OF INLET PROTECTION ON ALL INLETS IN PLACE DURING CONSTRUCTION AS SHOWN ON THIS PLAN AND RECOMMENDED BY THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT.
  - IMMEDIATELY PRIOR TO TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
  - NJSA 4:24-39 ET SEQ. REQUIRES THAT NO CERTIFICATION OF OCCUPANCY BE ISSUED BEFORE THE COMPLETION OF A SOIL COMPACTION MITIGATION VERIFICATION FORM AND CONFIRMATION BY THE CAMDEN COUNTY SOIL DISTRICT INSPECTOR THAT THE COMPACTION MITIGATION REQUIREMENTS IN THE STANDARDS FOR LAND GRADING HAVE BEEN SUFFICIENTLY ADDRESSED.
  - DEVELOPMENT WILL HAVE A TOTAL LAND DISTURBANCE OF 121,379 S.F. OR ±2.79 ACRES

- CONSTRUCTION ENTRANCE NOTES:**
- STONE SIZE SHALL BE ASTM C-33 SIZE NO. 2(2.5" TO 1.5") OR NO. 3(2" TO 1").
  - THICKNESS SHALL BE 12" THICK WITH FILTER FABRIC.
  - BOTTOM OF STONE BED TO BE WRAPPED IN HIGH PERMITIVITY NON-WOVEN GEOTEXTILE FILTER FABRIC AND SHOULD BE MACCAFERRERRE MACTEX MX275 OR APPROVED EQUAL.

THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING STRUCTURES AND UTILITIES, WHICH HE DEEMS NECESSARY, BOTH ABOVE AND BELOW THE GROUND SURFACE BEFORE HEAVY EQUIPMENT ENTERS THE CONSTRUCTION SITE.

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GRAPHIC SCALE: 1"=30'

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VAK	TSW	EPB	
5-6-21			
EDWARD P. BRADY			

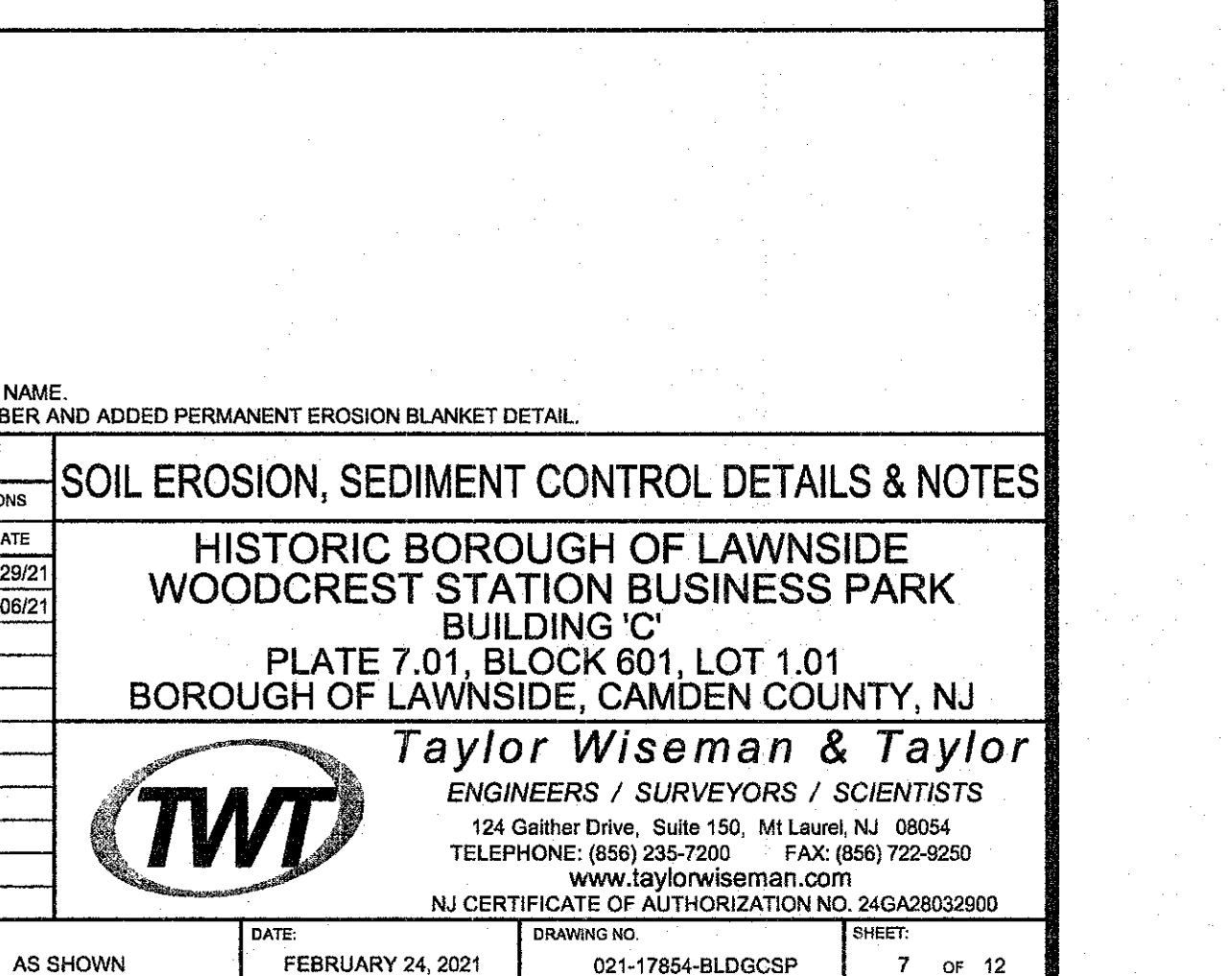
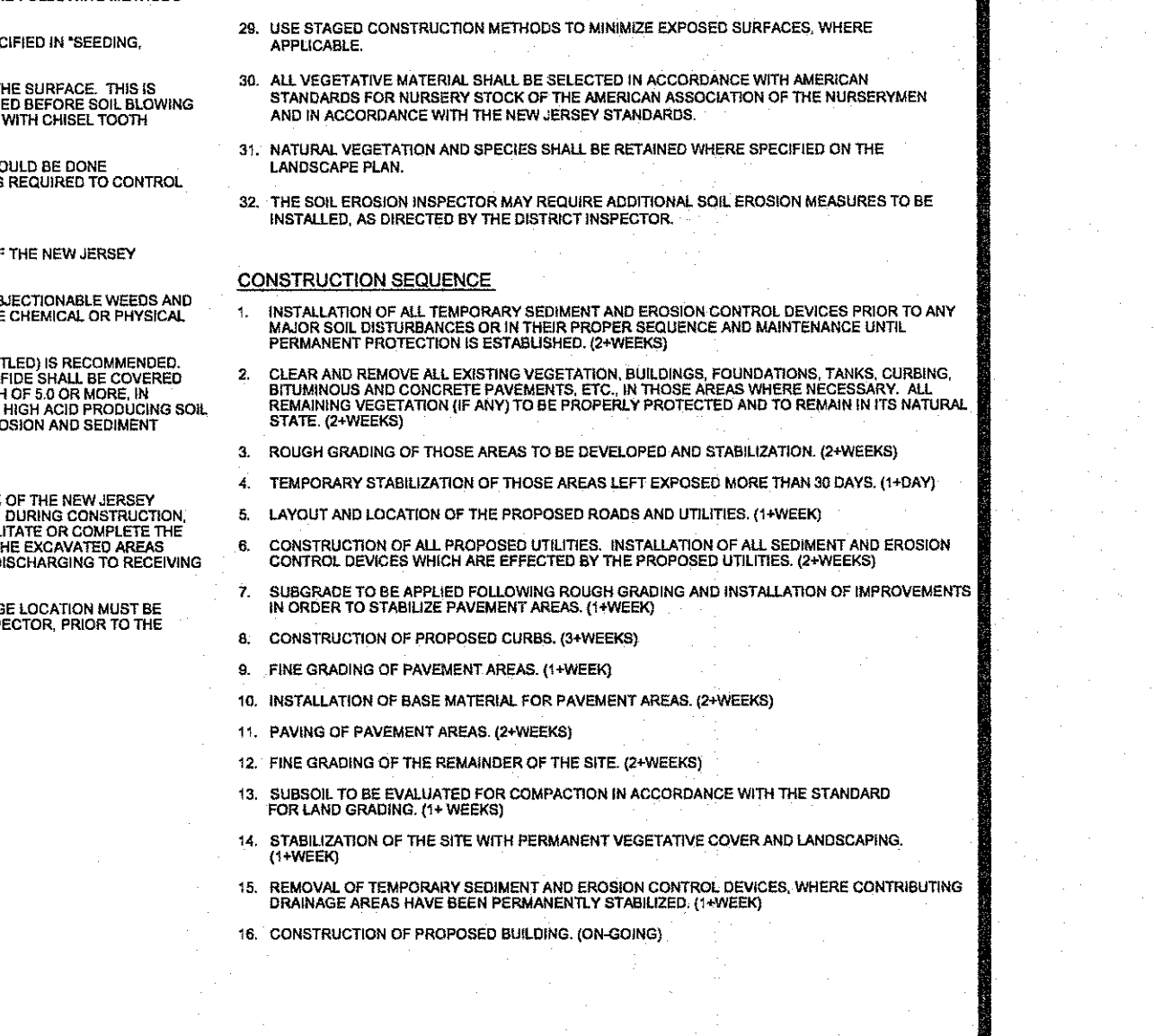
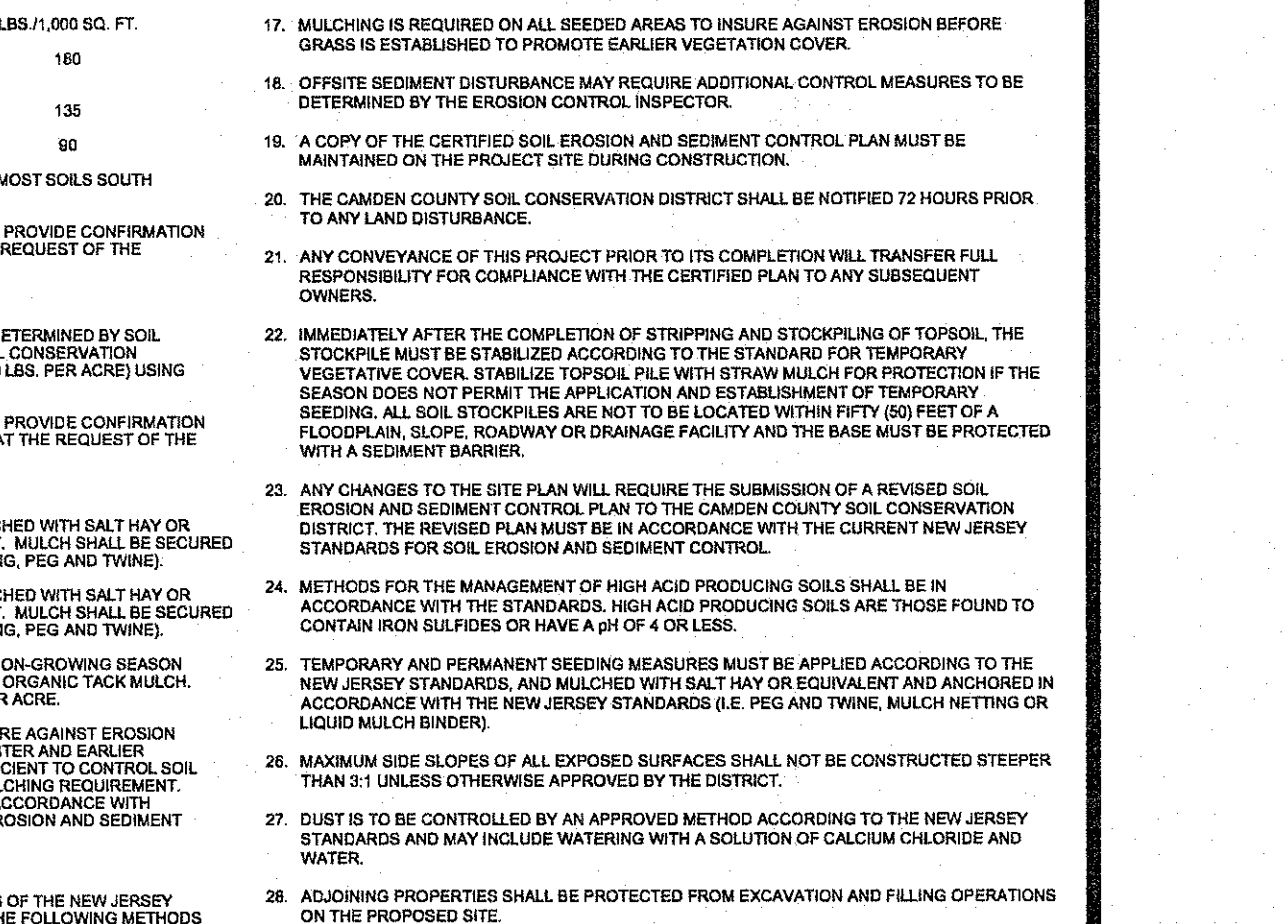
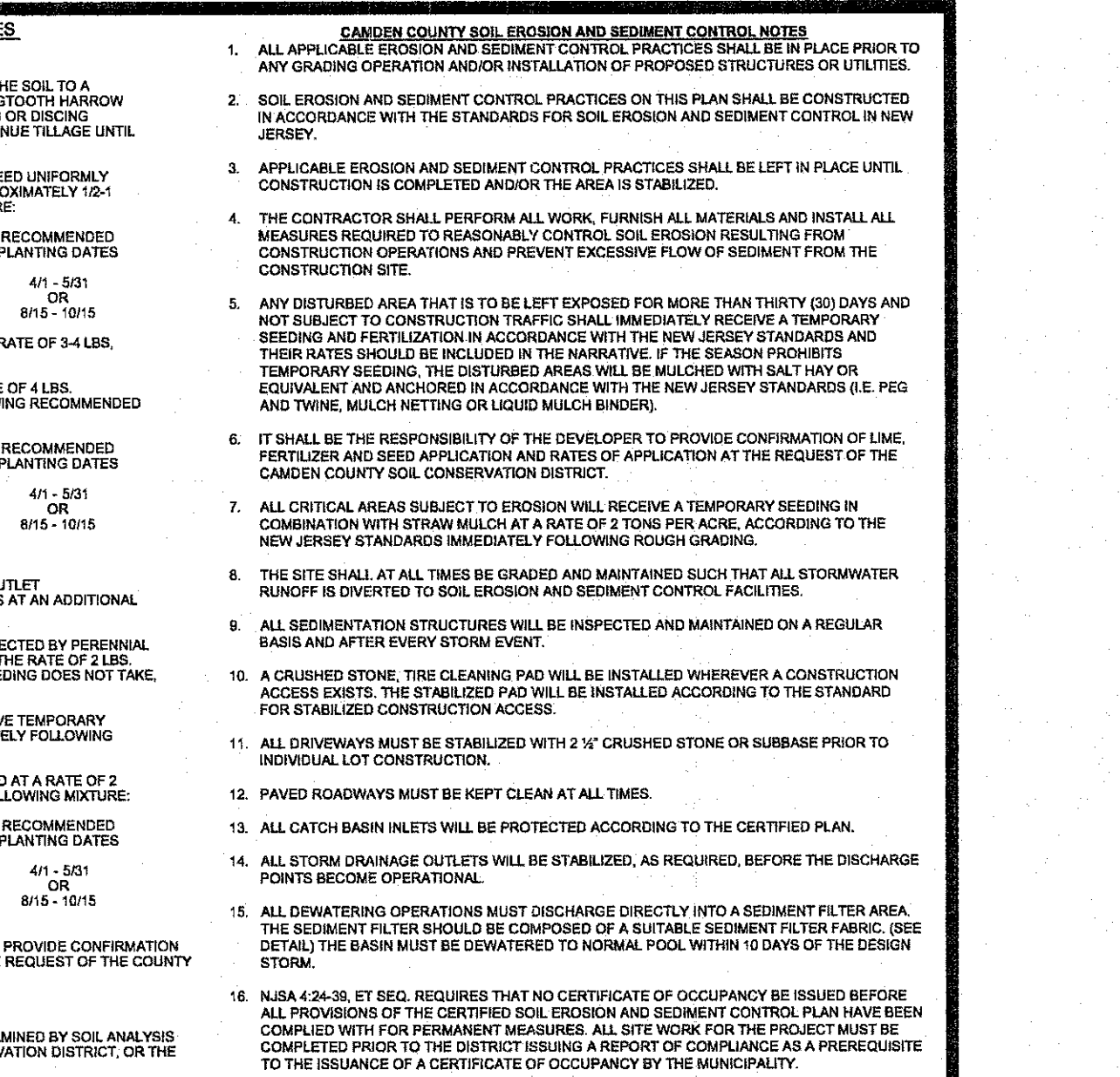
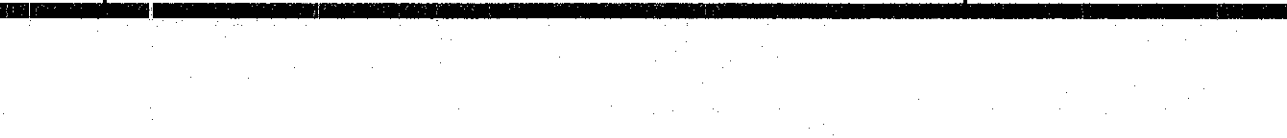
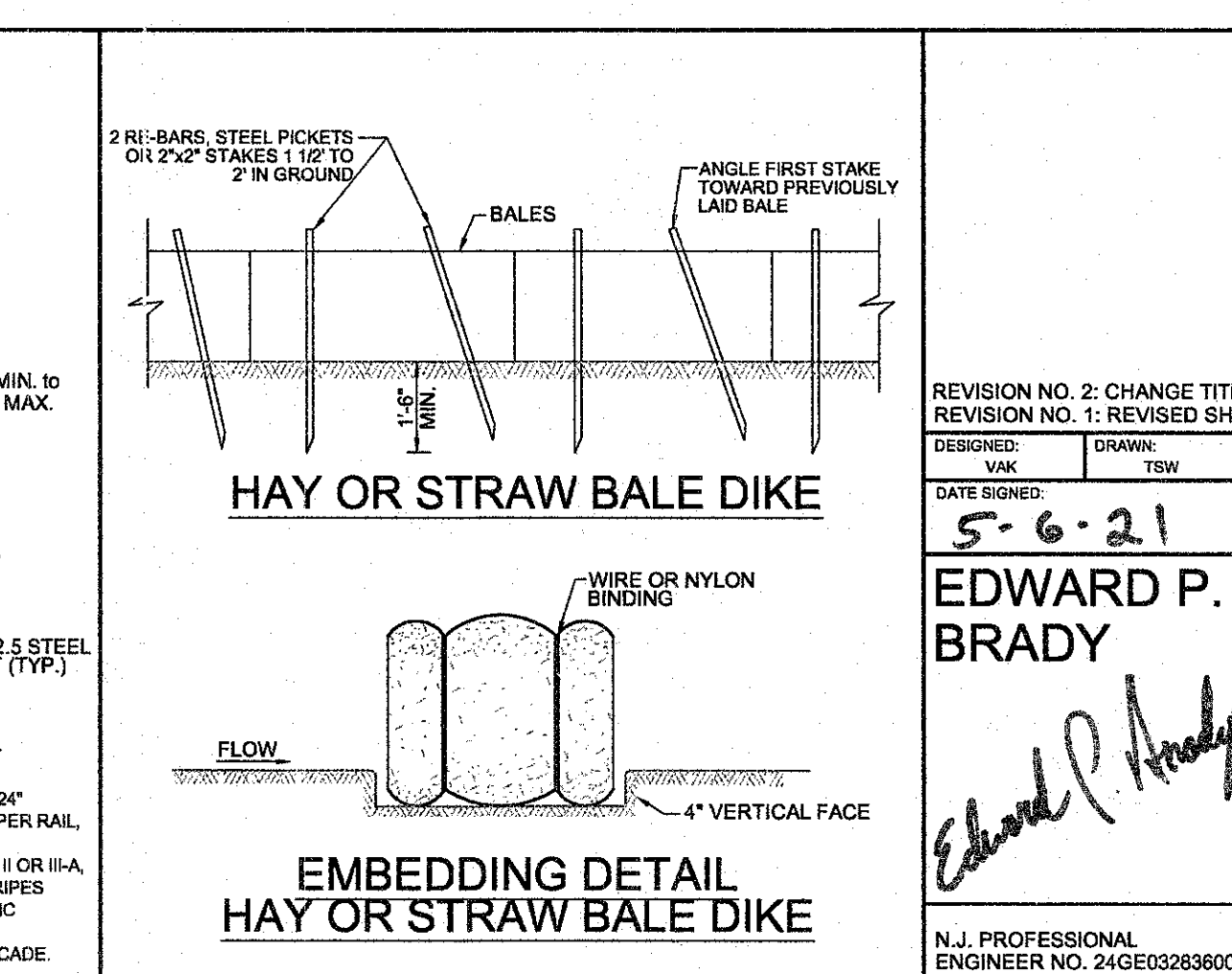
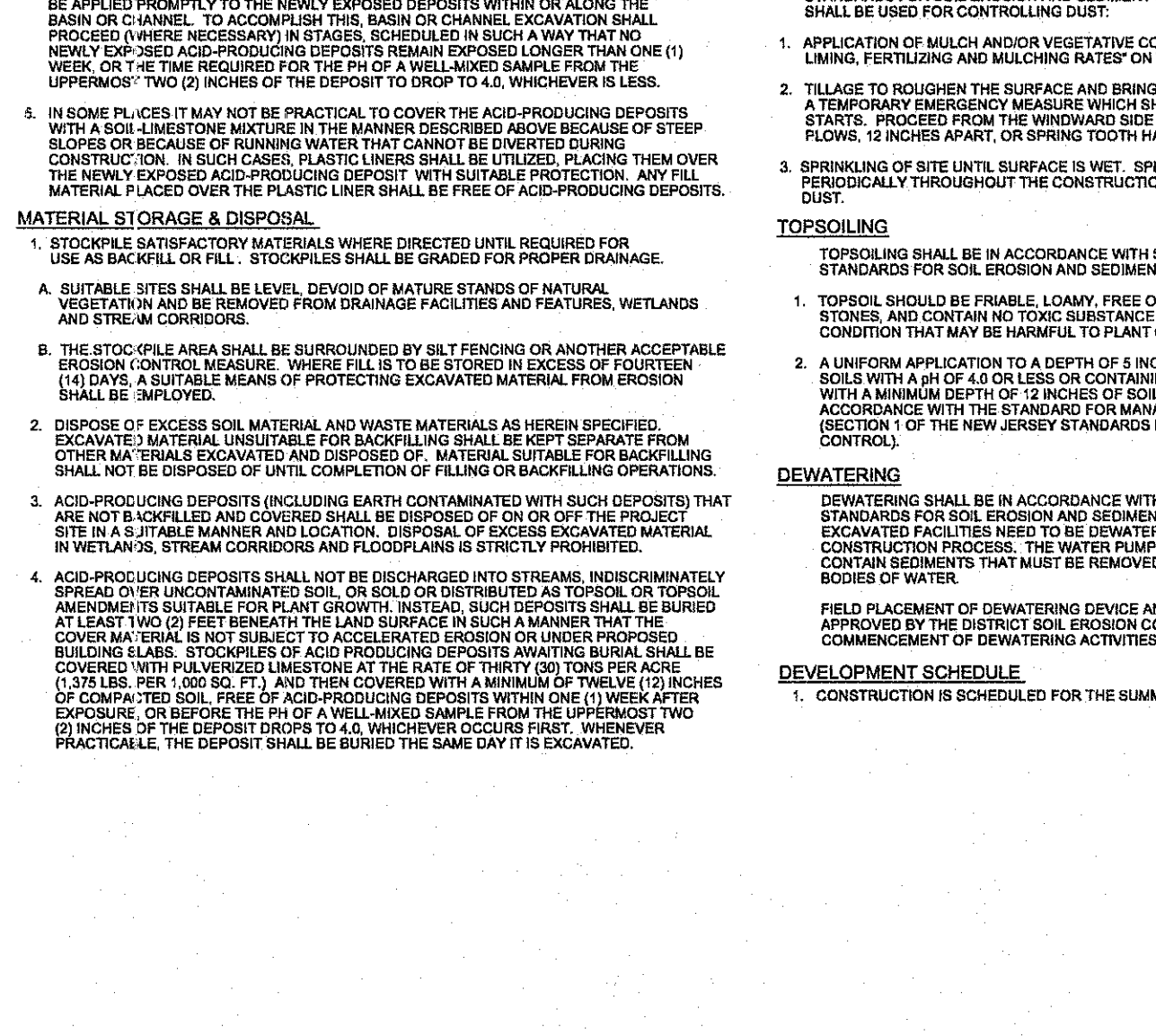
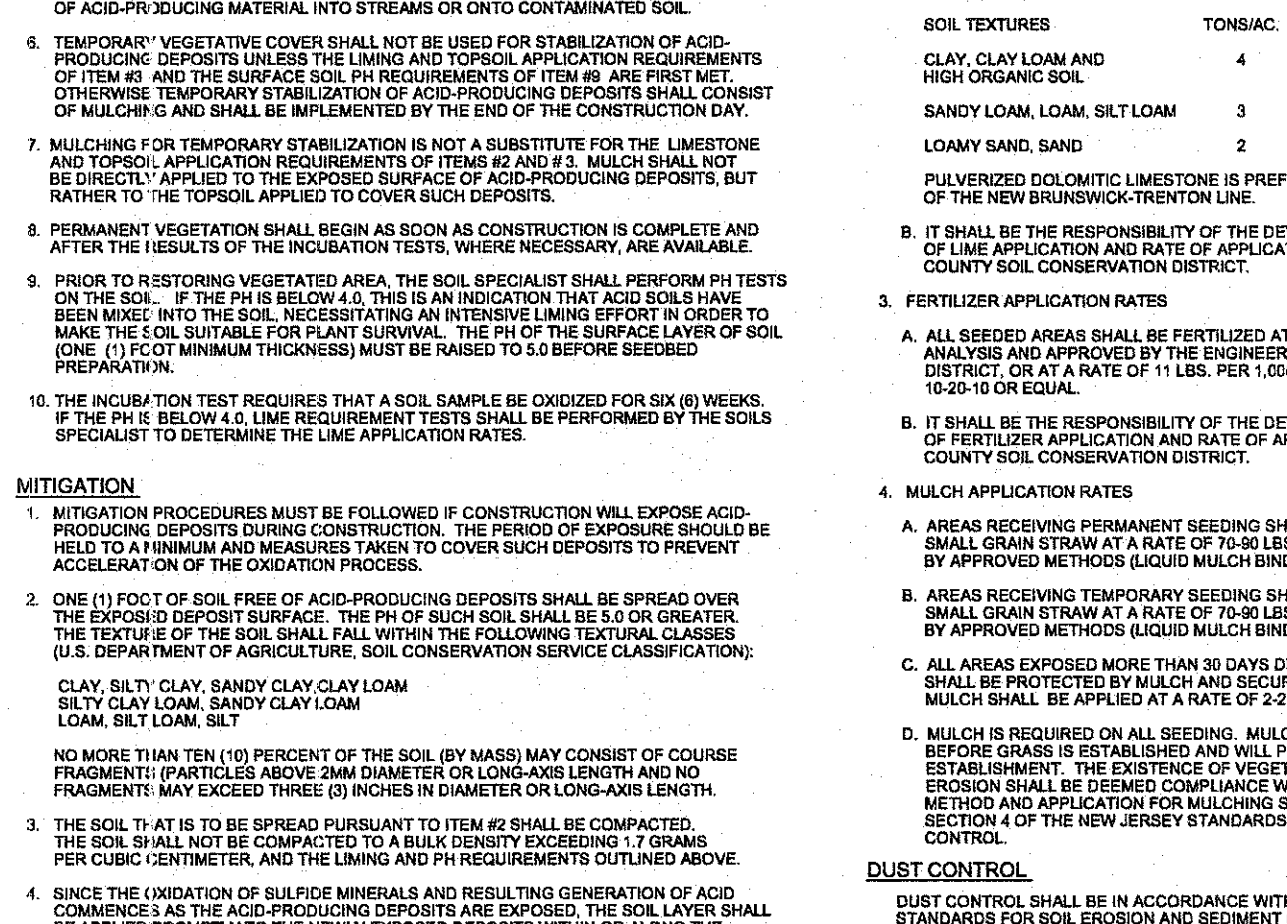
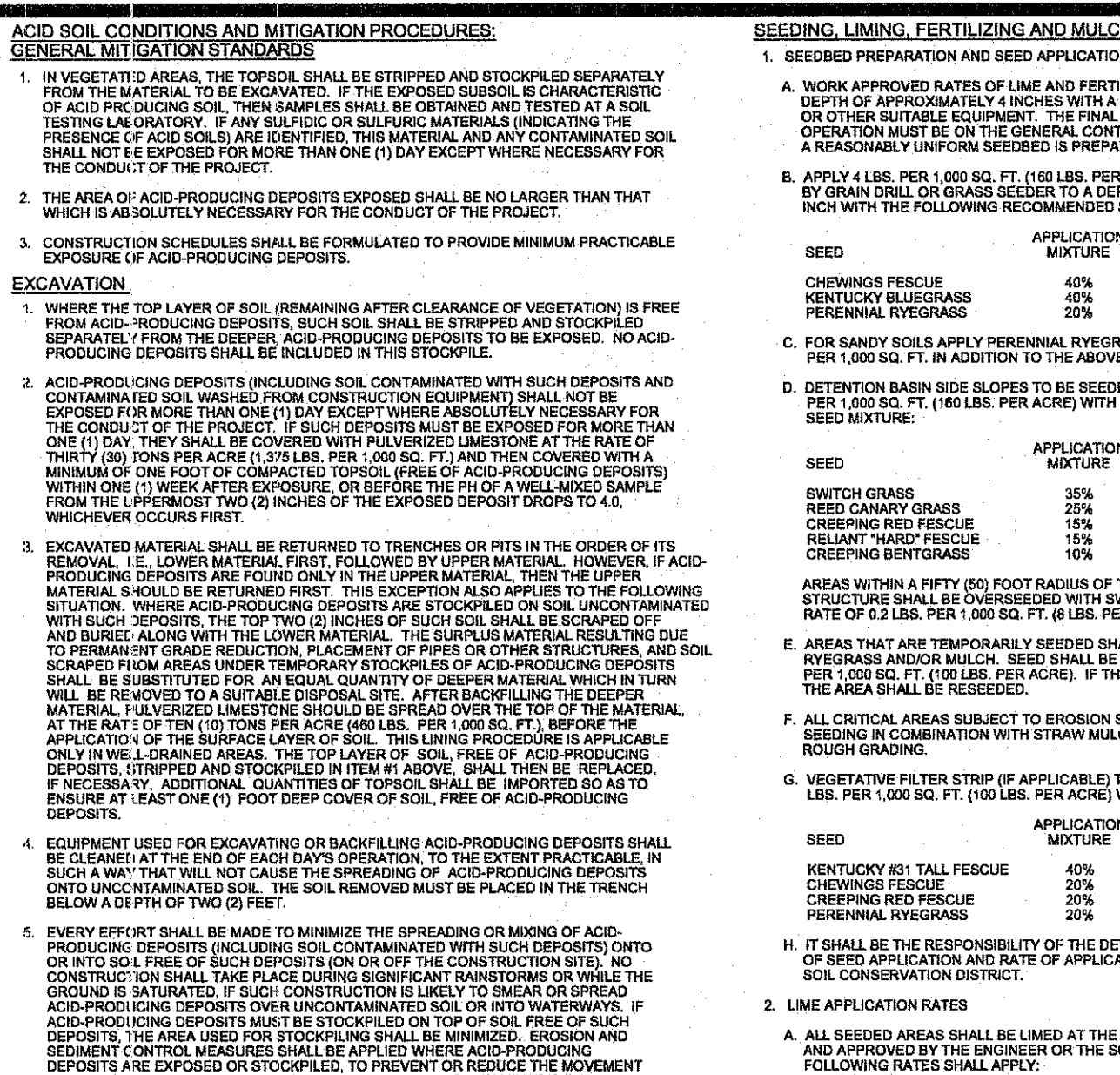
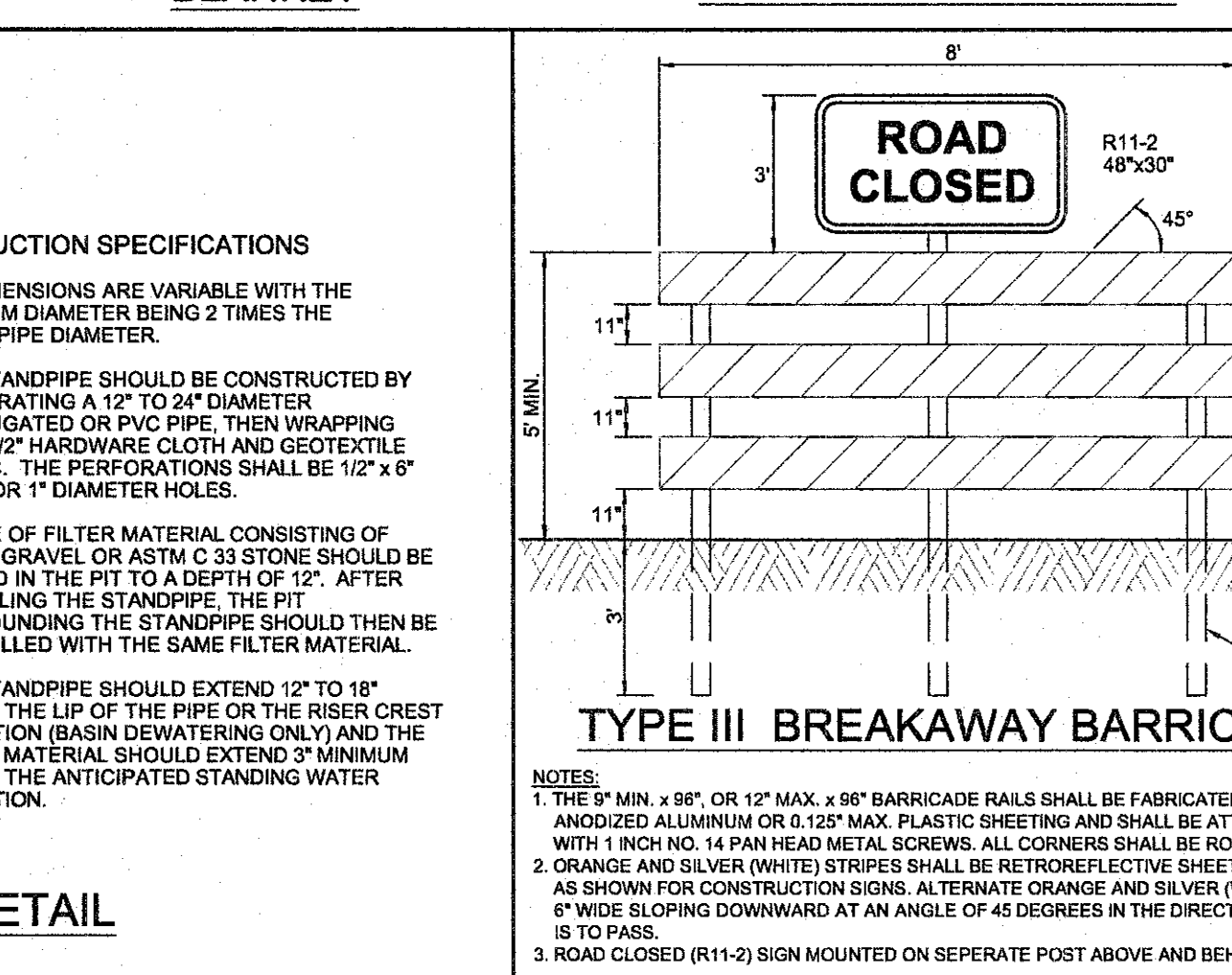
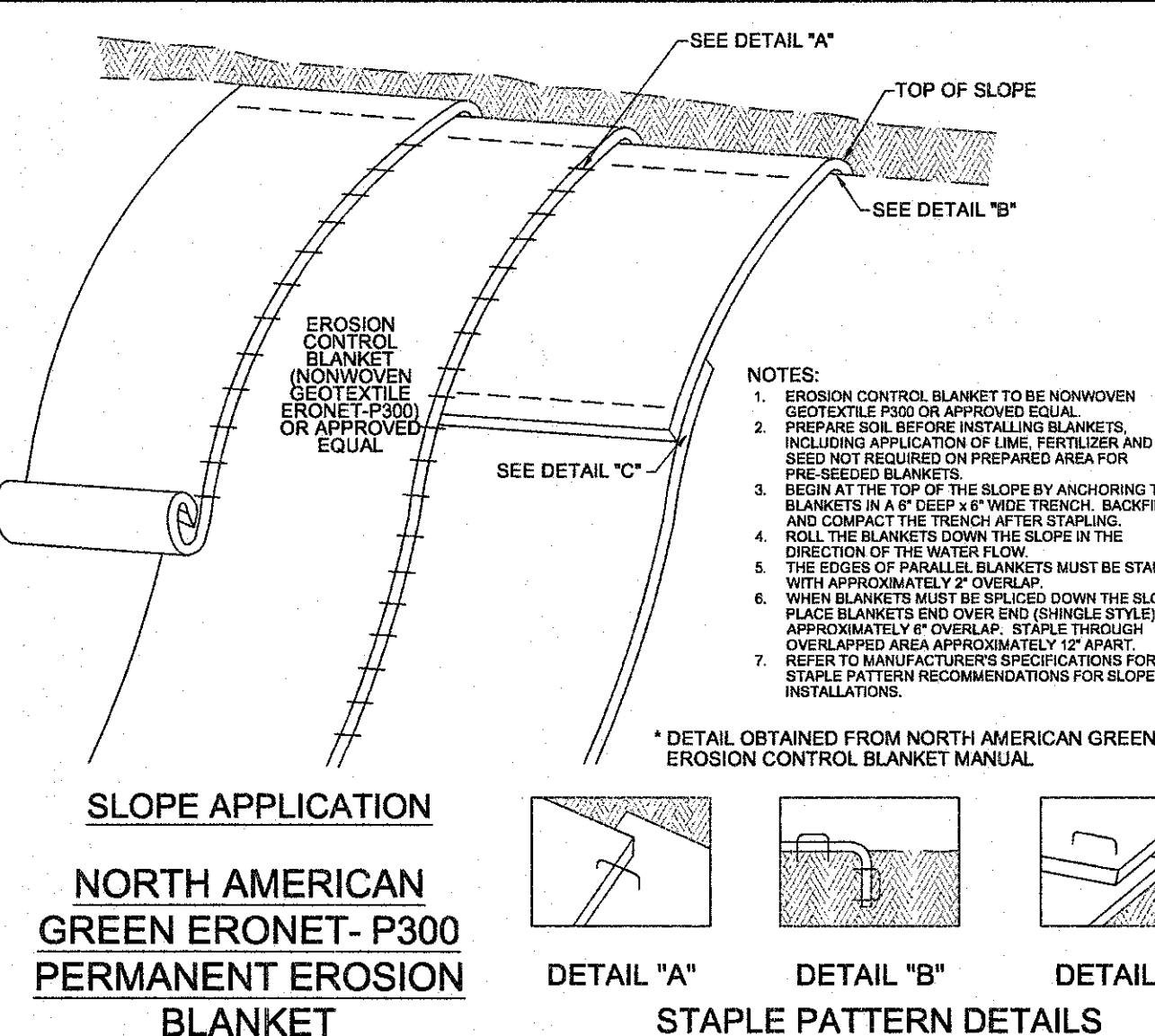
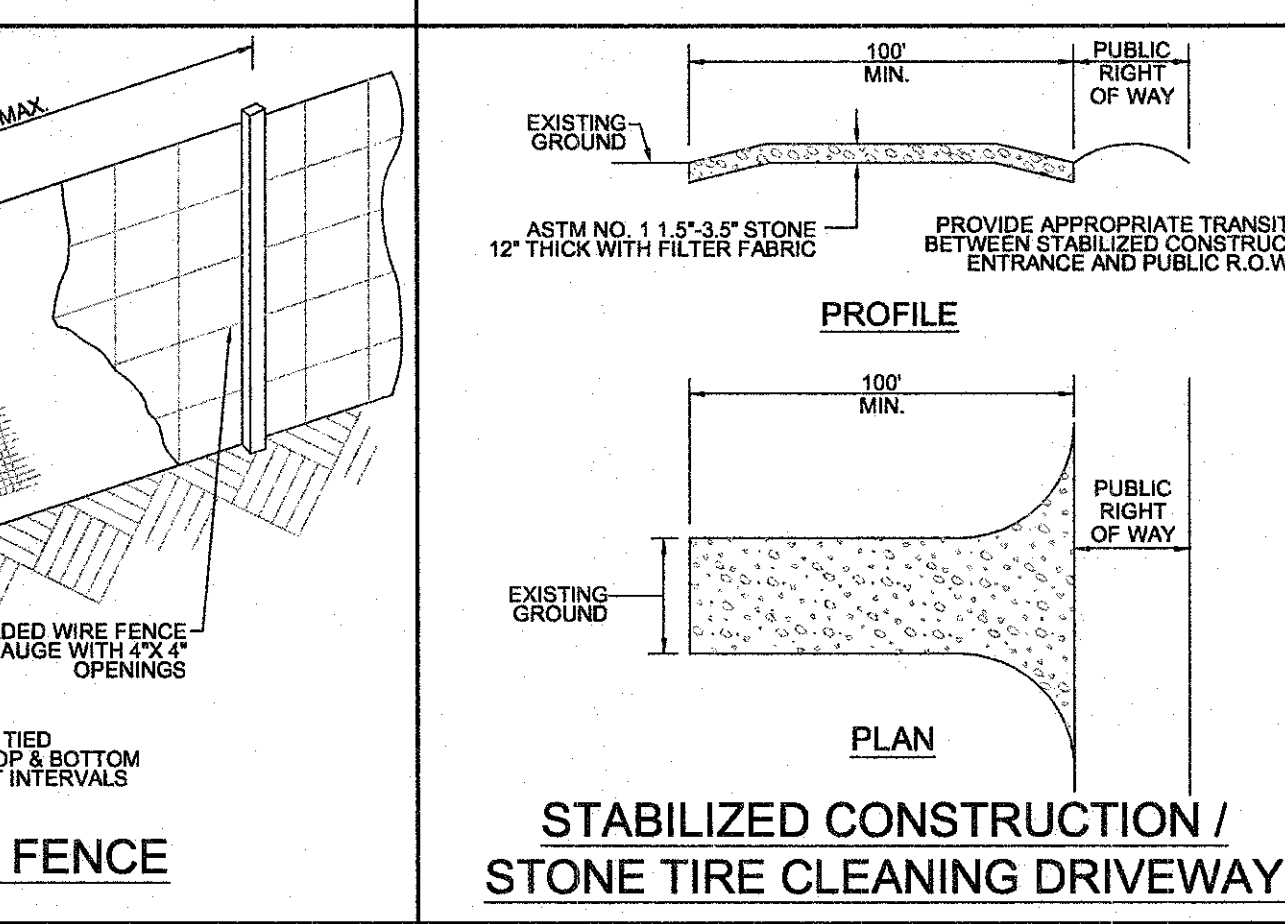
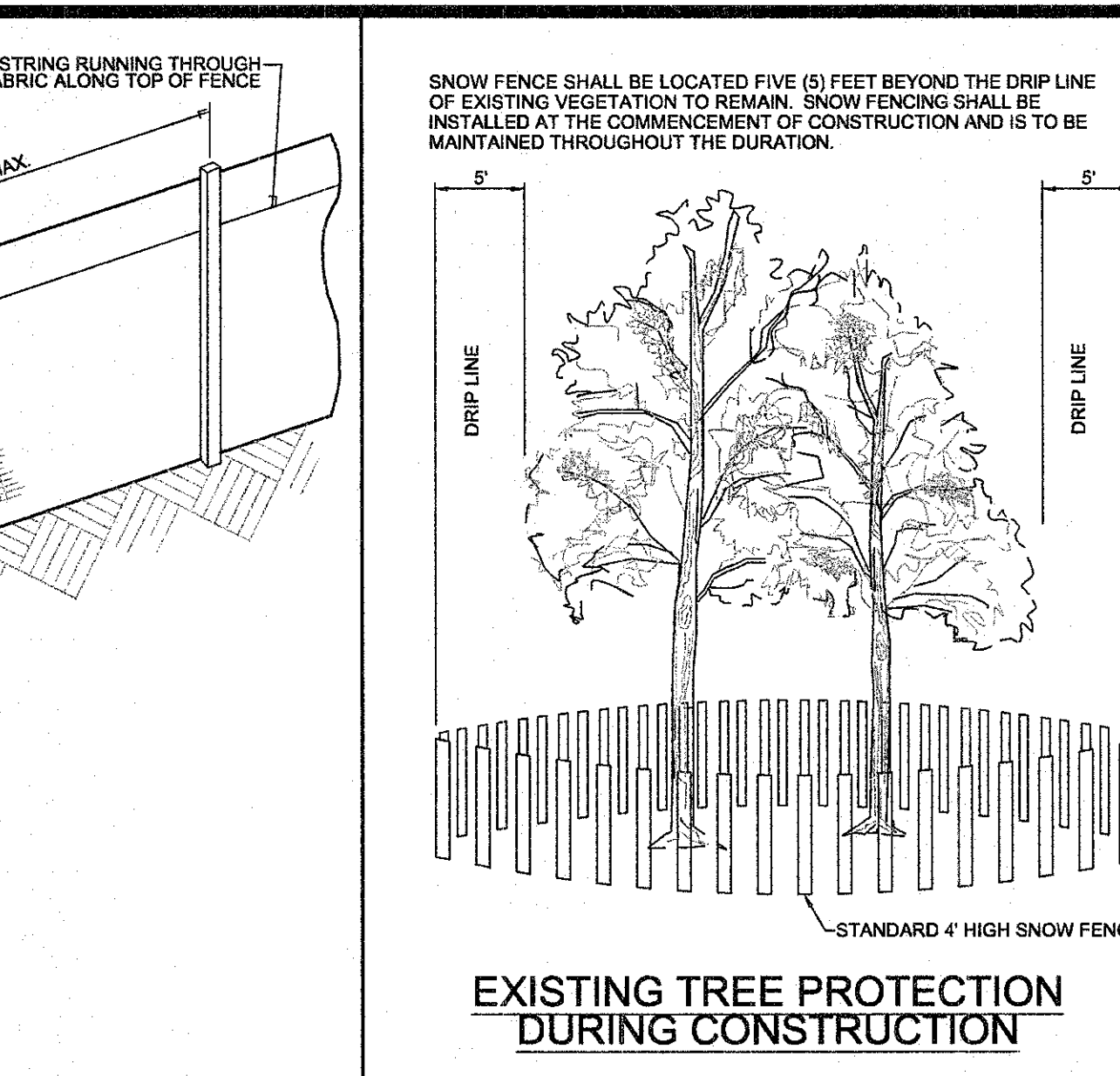
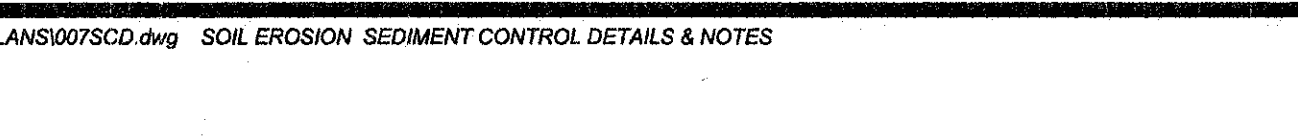
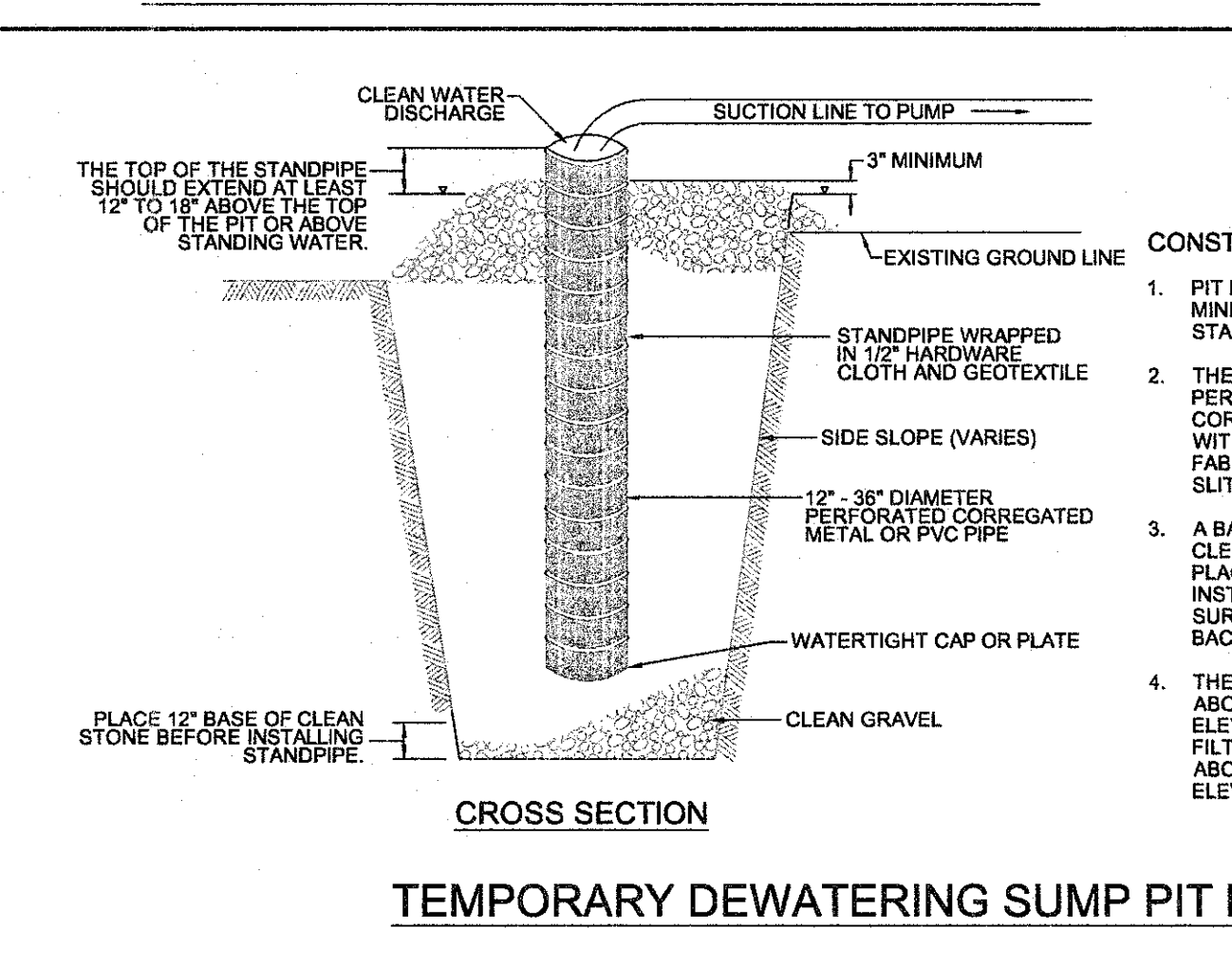
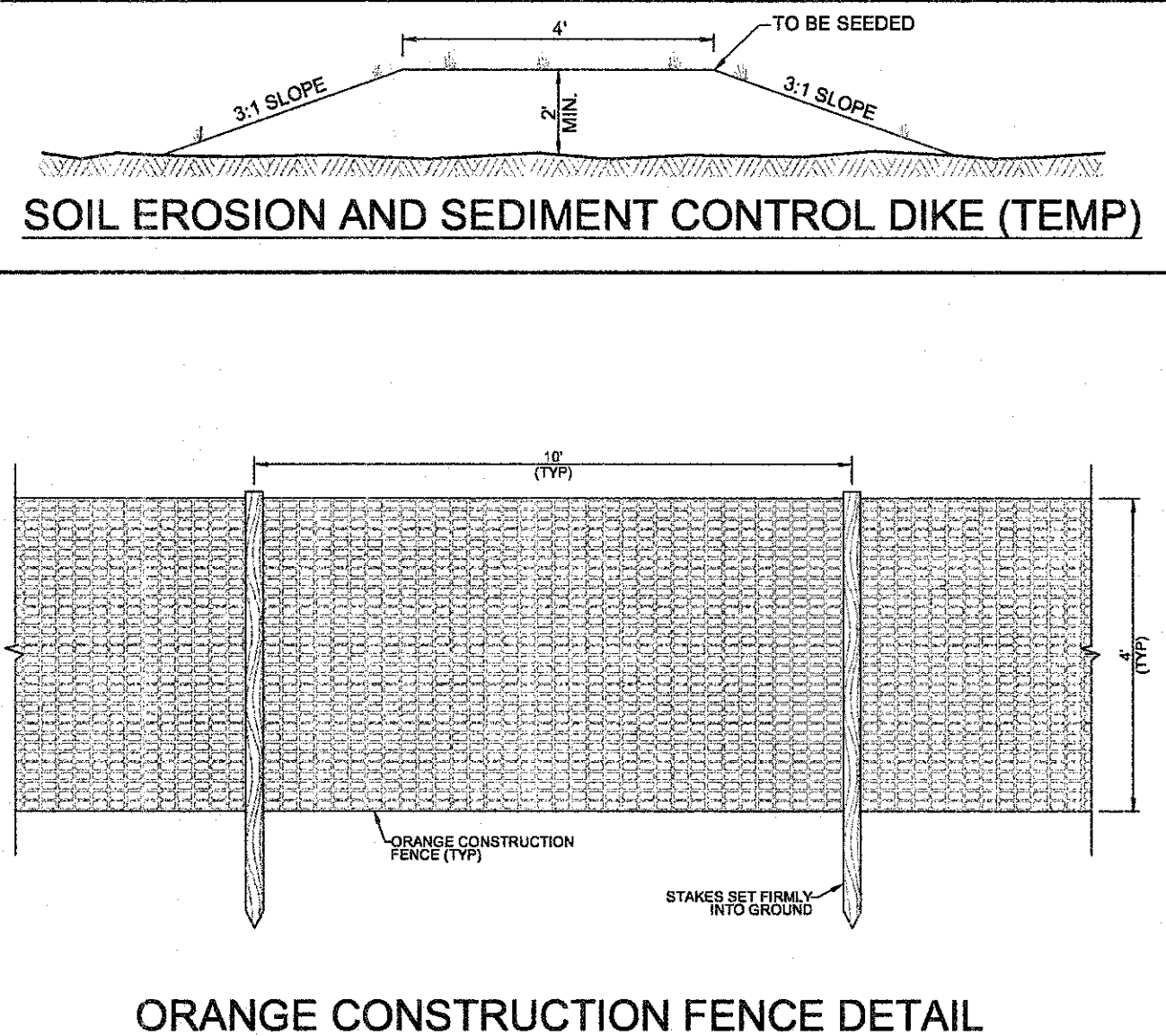
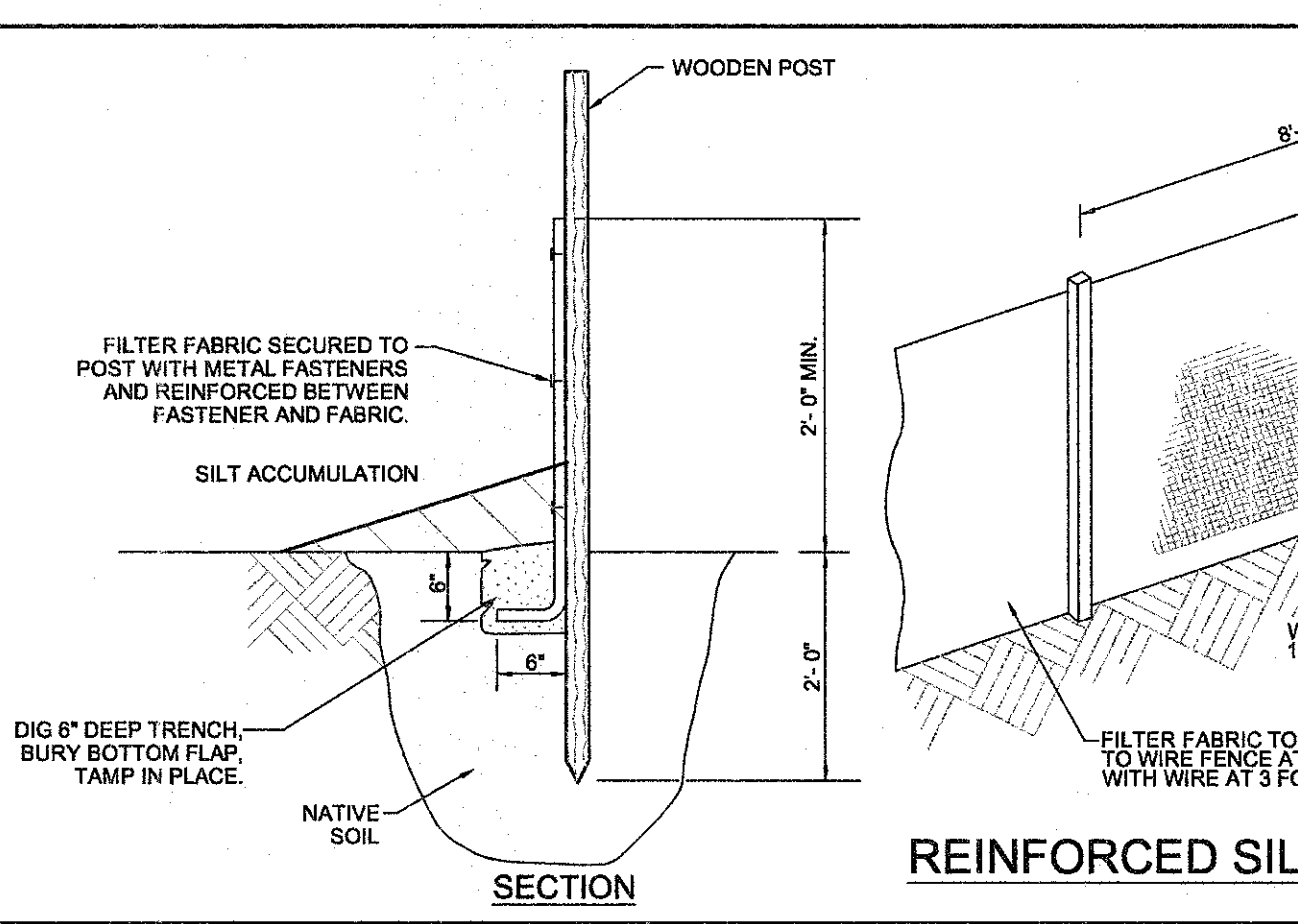
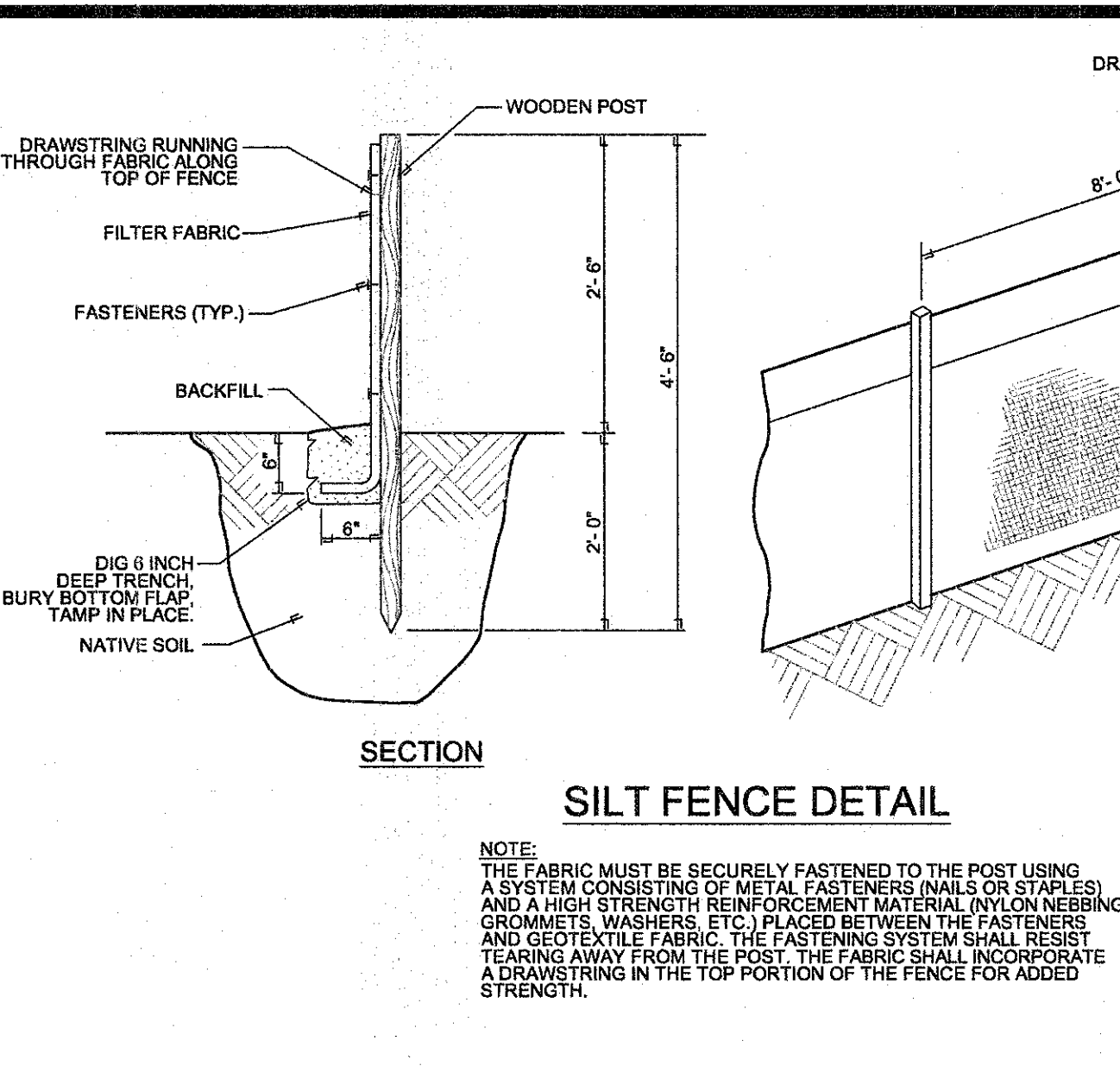
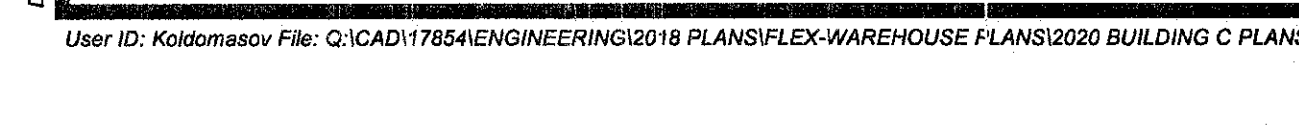
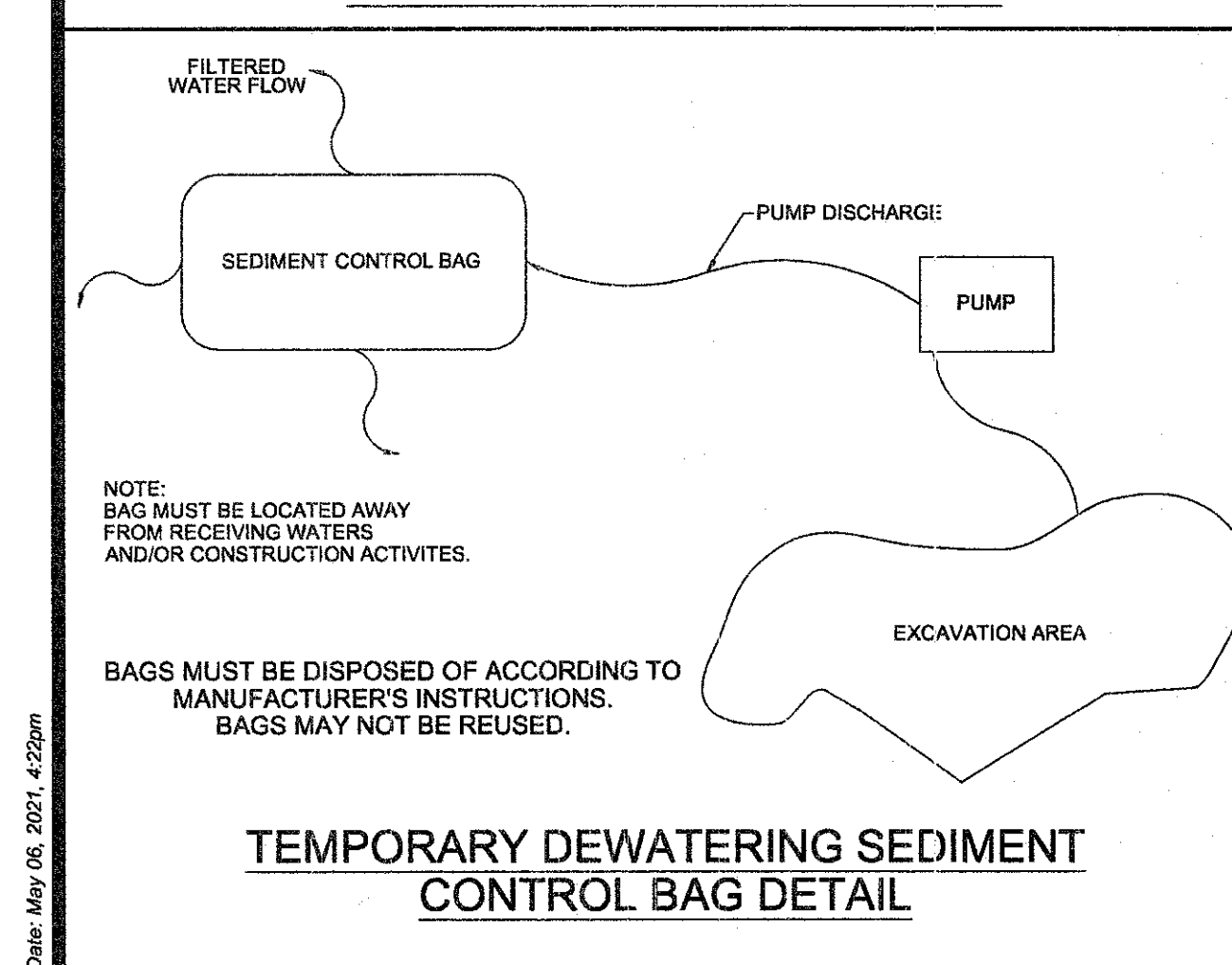
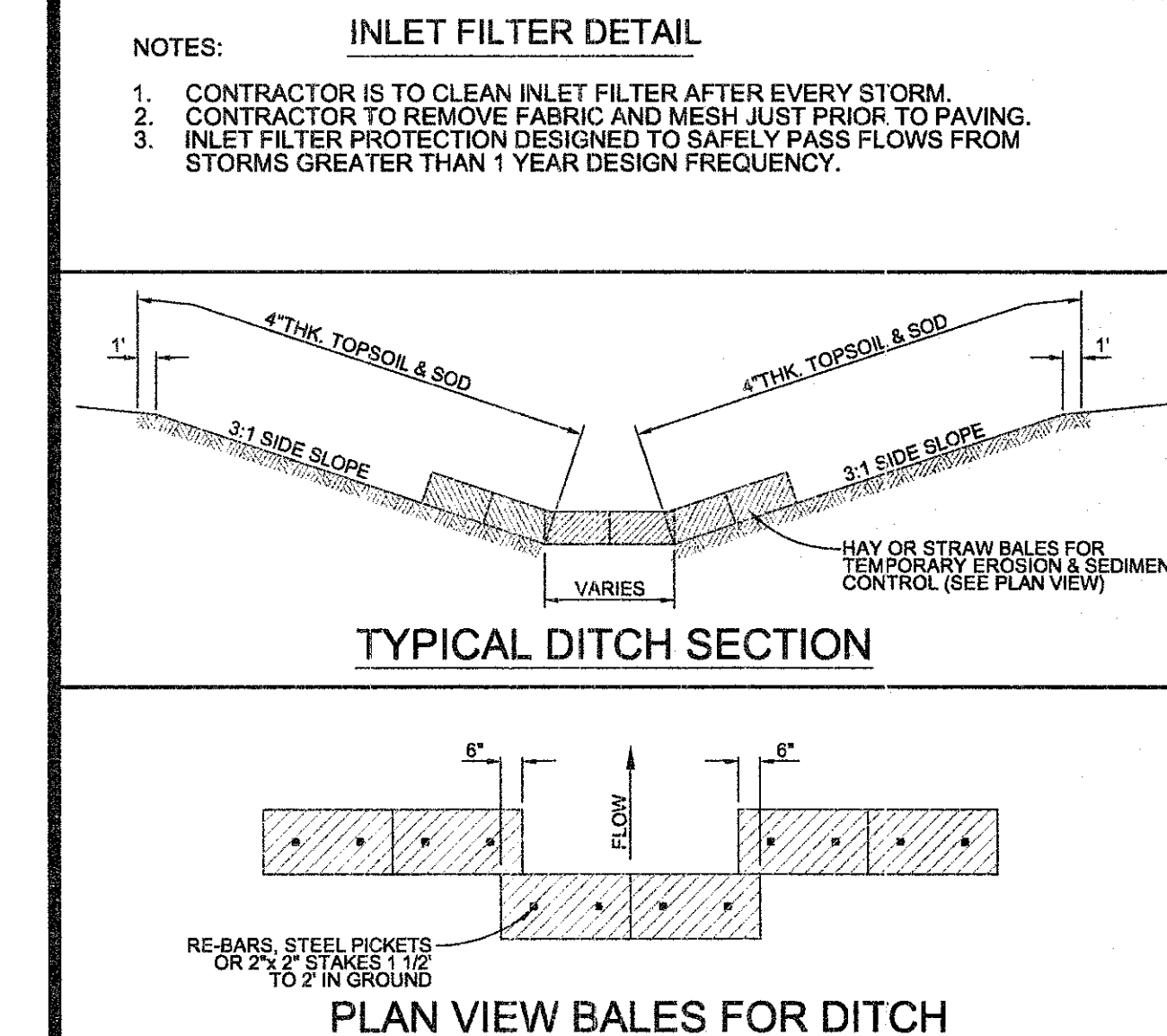
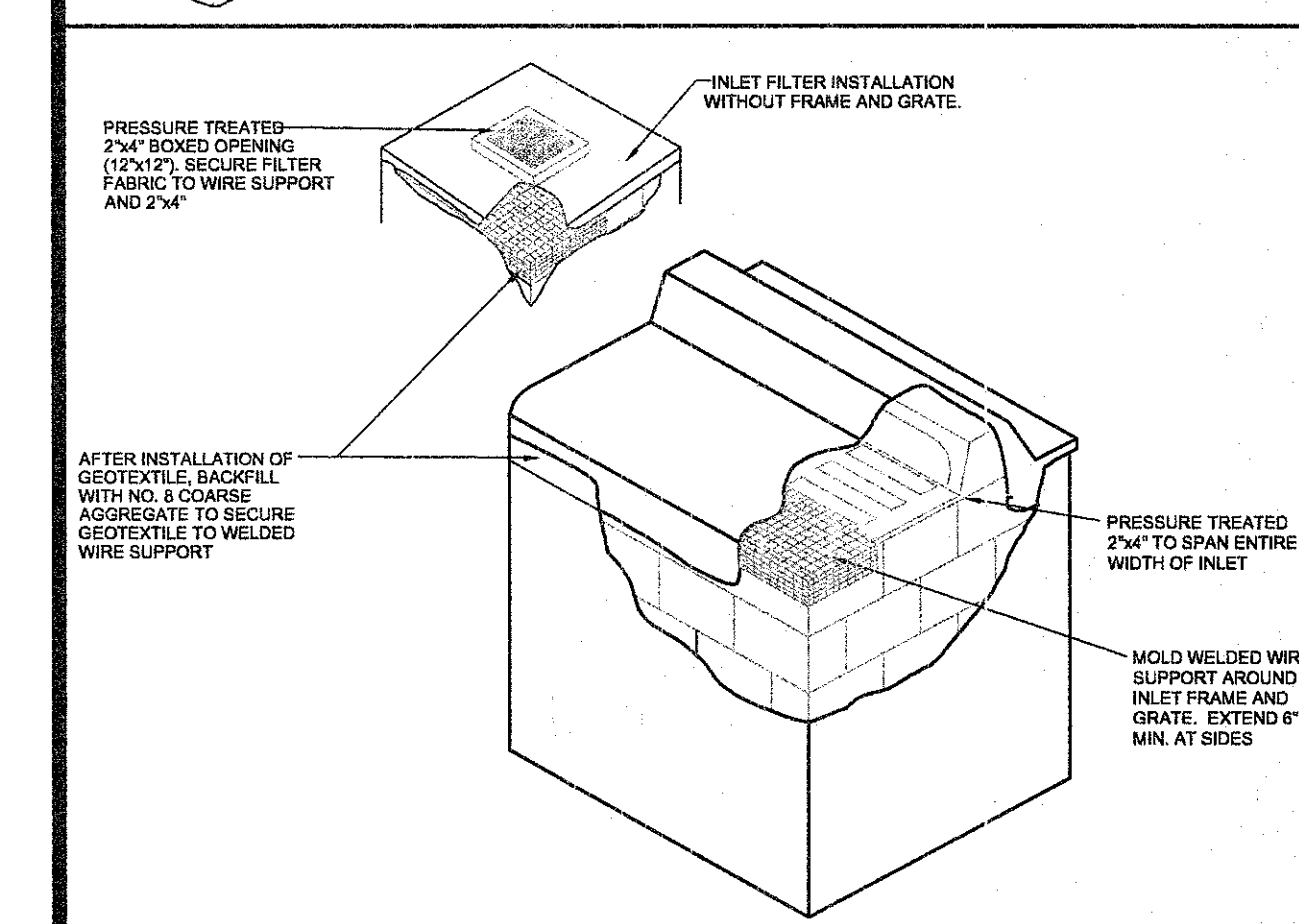
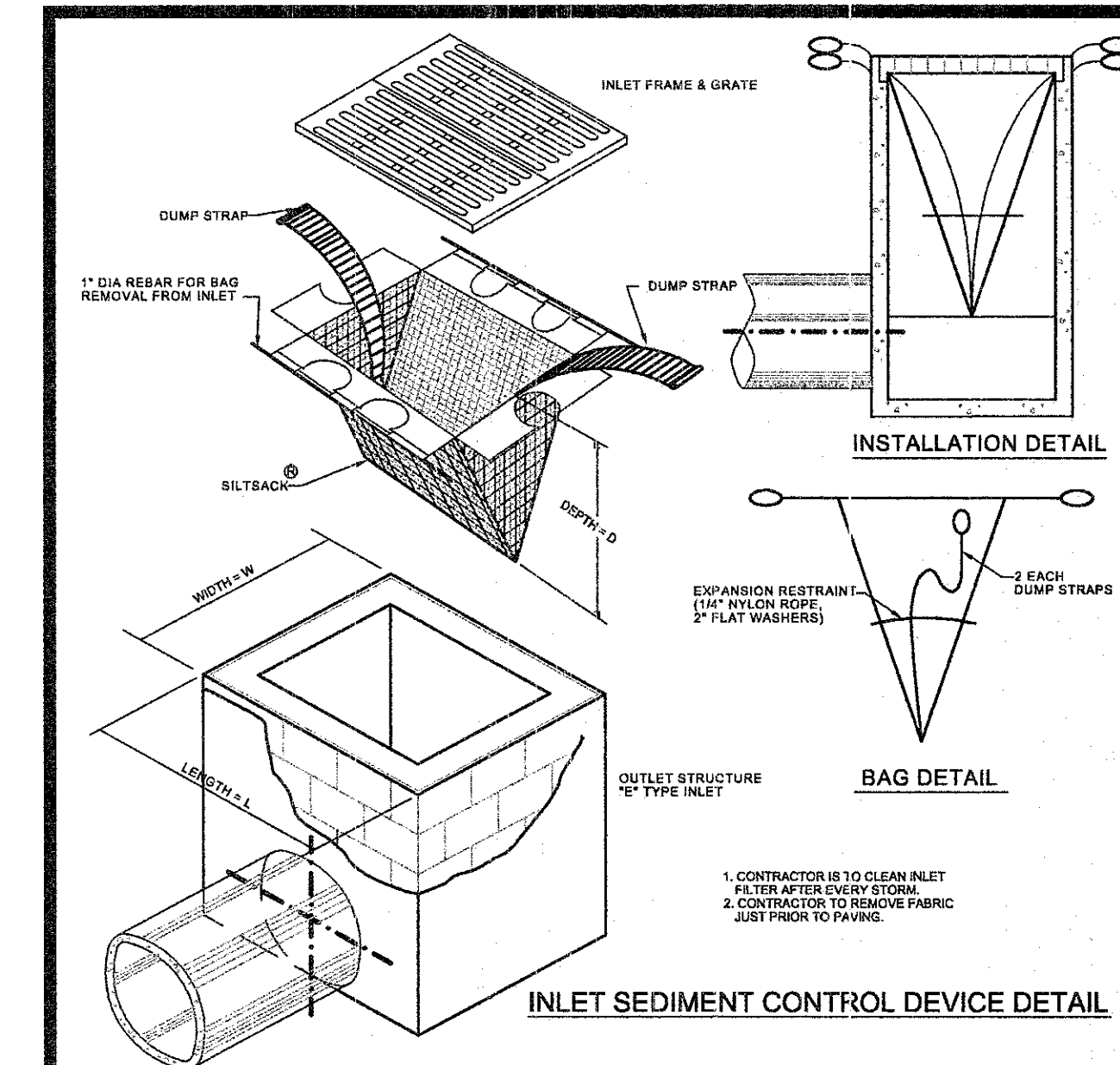
**SOIL EROSION & SEDIMENT CONTROL PLAN**

HISTORIC BOROUGH OF LAWNSIDE  
WOODCREST STATION BUSINESS PARK  
BUILDING 'C'  
PLATE 7.01, BLOCK 601, LOT 1.01  
BOROUGH OF LAWNSIDE, CAMDEN COUNTY, NJ

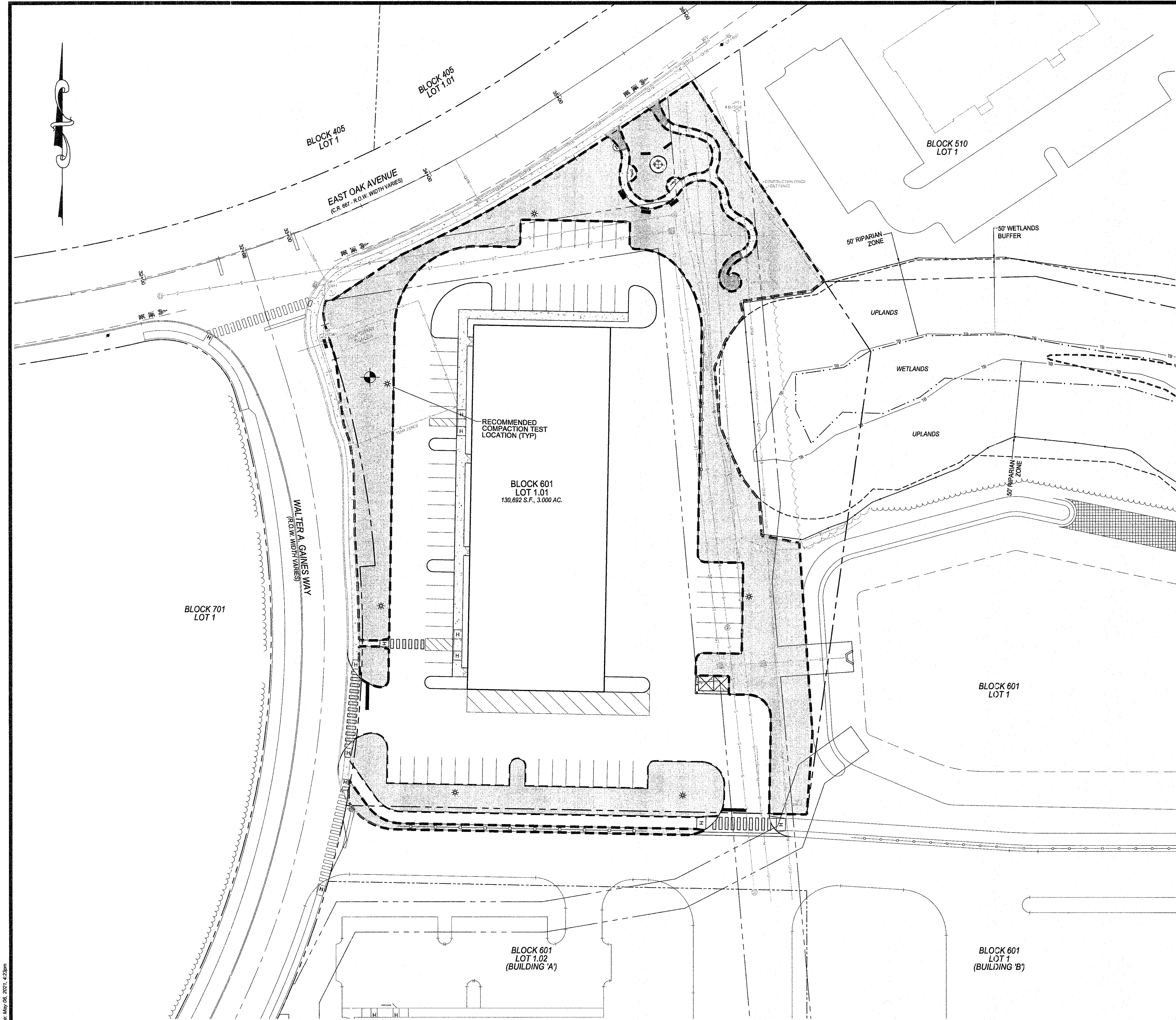
**Taylor Wiseman & Taylor**  
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www.taylorwiseman.com  
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA02032900

N.J. PROFESSIONAL ENGINEER NO. 24GE03283600  
SCALE: 1"=30'  
DATE: FEBRUARY 24, 2021  
DRAWING NO. 021-17854-BLDGSCP  
SHEET: 6 OF 12









SOIL DE-COMPACTION AND TESTING REQUIREMENTS

A. SOIL COMPACTION TESTING REQUIREMENTS

- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION AREA GRADUALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
- COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. LOCATION IDS SHALL BE USED TO COMPLETE THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- IN THE EVENT THAT TESTING INDICATED COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

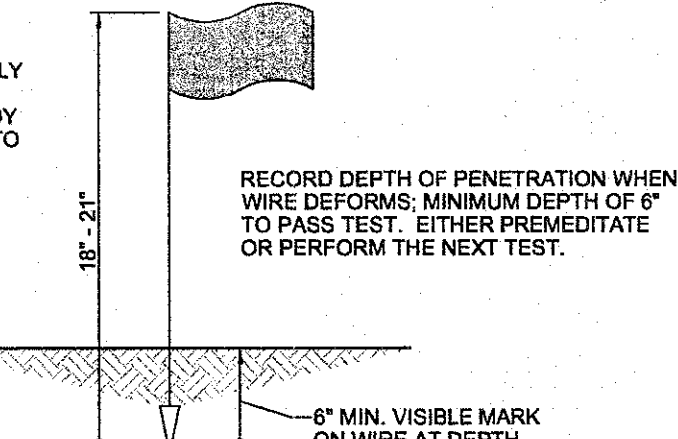
B. COMPACTION TESTING METHODS

- PROBING WIRE TEST (SEE DETAIL)
- HAND-HELD PENETROMETER TEST (SEE DETAIL)
- TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL REQUIRED)
- NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL REQUIRED)
- NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
- DETAILED REQUIREMENTS FOR EACH COMPACTION TESTING METHOD CAN BE FOUND IN SECTION 19 "STANDARDS FOR LAND GRADING" OF THE NJ STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION.
- SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (RECONSTRUCTION/ILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

C. PROCEDURES FOR SOIL COMPACTION MITIGATION

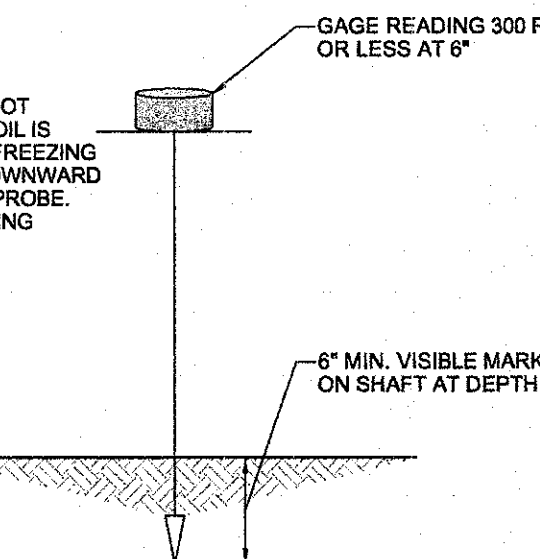
- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/UTILAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (GAS, IRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE WIRE.



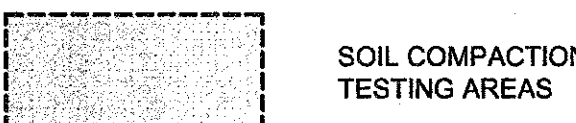
PROBING WIRE TEST  
15.5 GA. STEEL WIRE (SURVEY FLAG)  
N.T.S.

NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE PROBE. MEASURE DEPTH WHEN GAGE READING REACHES 300 PSI OR DEPTH OF 6".



HANDHELD SOIL PENETROMETER TEST  
N.T.S.

LEGEND



SOIL COMPACTION TESTING AREAS



RECOMMENDED SOIL COMPACTION TEST LOCATION (APPROX. 1 PER 5 ACRES)  
TOTAL COMPACTION TESTING AREA = ±0.90 ACRES

THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING STRUCTURES AND UTILITIES, WHICH HE DEEMS NECESSARY, BOTH ABOVE AND BELOW THE GROUND SURFACE BEFORE HEAVY EQUIPMENT ENTERS THE CONSTRUCTION SITE.

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GRAPHIC SCALE: 1"=30'

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DESIGNED: VAK	DRAWN: TSW	CHECKED: EPB
DATE SIGNED: 5-6-21	REVISIONS	NO. DATE
EDWARD P. BRADY	1	04/29/21
	2	05/06/21

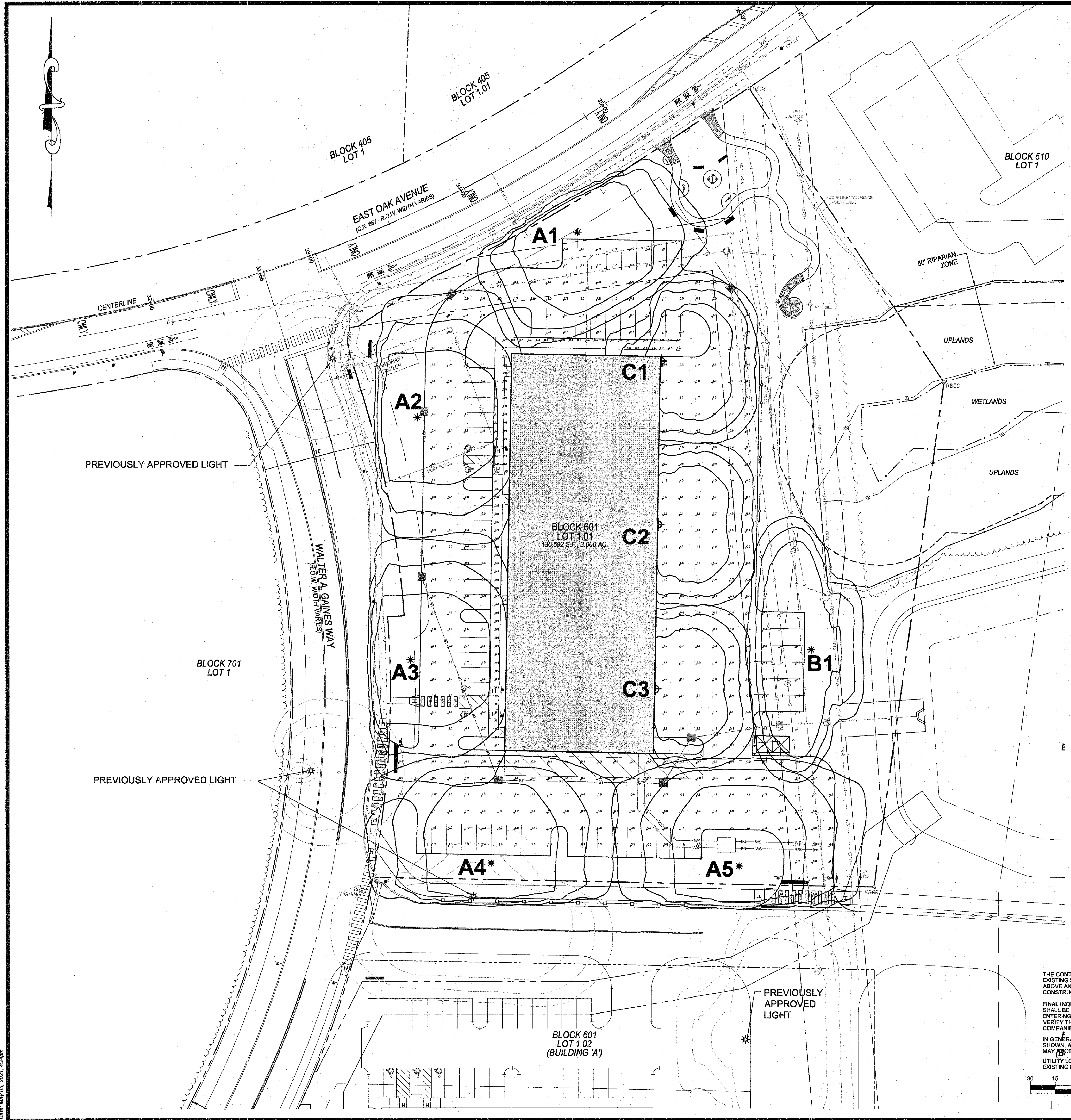
SOIL COMPACTION MITIGATION PLAN

HISTORIC BOROUGH OF LAWNSIDE  
WOODCREST STATION BUSINESS PARK  
BUILDING 'C'  
PLATE 7.01, BLOCK 601, LOT 1.01  
BOROUGH OF LAWNSIDE, CAMDEN COUNTY, NJ

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NJ CERTIFICATE OF AUTHORIZATION NO. 24GA28032900





**Specifications**

EPA: 1.01 ft  
Length: 33"  
Width: 13"  
Height H1: 7-1/2"  
Height H2: 3-1/2"  
Weight: 27 lbs  
(max)

**LAMP**

**A LIGHT FIXTURE:**  
LITHONIA LIGHTING  
DSX1 LED SERIES W/ HOUSE SIDE SHIELD  
MODEL: DSX1-LED-P7-40K-TSW-MVOLT-HS  
4000K LED LAMP, 183 WATTS  
(TYPE 1 LIGHTING PATTERN)  
BLACK FINISH  
QUANTITY: 5

**B LIGHT FIXTURE:**  
LITHONIA LIGHTING  
DSX1 LED SERIES W/ HOUSE SIDE SHIELD  
MODEL: DSX1-LED-P7-40K-T15-MVOLT-HS  
4000K LED LAMP, 183 WATTS  
(TYPE 1 LIGHTING PATTERN)  
BLACK FINISH  
QUANTITY: 1

**PHOTOMETRIC LEGEND:**

**FIXTURE TYPE 'A'**  
LITHONIA LIGHTING  
DSX1 LED SERIES W/ HOUSE SIDE SHIELD  
4000K LED LAMP, 183 WATTS  
(TYPE 1 LIGHTING PATTERN)  
BLACK FINISH  
QUANTITY: 5  
MOUNTING HEIGHT: 25'

**FIXTURE TYPE 'B'**  
LITHONIA LIGHTING  
DSX1 LED SERIES W/ HOUSE SIDE SHIELD  
4000K LED LAMP, 183 WATTS  
(TYPE 1 LIGHTING PATTERN)  
BLACK FINISH  
QUANTITY: 1  
MOUNTING HEIGHT: 25'

**FIXTURE TYPE 'C'**  
LITHONIA LIGHTING  
DSX1 LED SERIES W/ HOUSE SIDE SHIELD  
4000K LED LAMP, 183 WATTS  
(TYPE 1 LIGHTING PATTERN)  
BLACK FINISH  
QUANTITY: 3  
MOUNTING HEIGHT: 25'

**SITE LIGHT FIXTURE WITH POLE - TYPE 'A' & 'B'**

TYPE A - TWIN MOUNTED SITE LIGHT FIXTURE, QTY: 5  
CATALOG NO. DSX1-LED-P7-40K-TSW-MVOLT-HS  
D-SERIES SIZE 1 LED AREA LUMINAIRE AT 25' MOUNTING HEIGHT, P7 FORWARD OPTIC, 4000K, TYPE 1 WIDE DISTRIBUTION, MVOLT WITH HOUSE SIDE SHIELD, COLOR BLACK, AS MANUFACTURED BY LITHONIA LIGHTING www.lithonia.com (800) 279-8041 OR APPROVED EQUAL.

TYPE B - TWIN MOUNTED SITE LIGHT FIXTURE, QTY: 5  
CATALOG NO. DSX1-LED-P7-40K-T15-MVOLT-HS  
D-SERIES SIZE 1 LED AREA LUMINAIRE AT 25' MOUNTING HEIGHT, P7 FORWARD OPTIC, 4000K, TYPE 1 SMALL DISTRIBUTION, MVOLT WITH HOUSE SIDE SHIELD, COLOR BLACK, AS MANUFACTURED BY LITHONIA LIGHTING www.lithonia.com (800) 279-8041 OR APPROVED EQUAL.

POLE FIXTURE A QTY: 6  
CATALOG NO. SS5-25-4G-DBLX  
POLE FIXTURE TO BE 4 INCH SQUARE NON-TAPERED 7 GAUGE STEEL, 25' HEIGHT, COLOR BLACK, AS MANUFACTURED BY LITHONIA LIGHTING www.lithonia.com (800) 279-8041 OR APPROVED EQUAL.

**WALL MOUNTED FIXTURE - TYPE 'C'**

TYPE B - WALL MOUNTED FIXTURE, QTY: 3  
CATALOG NO. CSXW-LED-30C-700-40K-TFTM-MVOLT  
CONTOUR SERIES LED WALL LUMINAIRE AT 20' MOUNTING HEIGHT, 30LEDS, 700mA, 4000K, TYPE FORWARD THROW MEDIUM, MVOLT, COLOR BLACK, AS MANUFACTURED BY LITHONIA LIGHTING www.lithonia.com (800) 279-8041 OR APPROVED EQUAL.

Schedule											
Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Fixture Name	Lumens per Lamp	Lumen Multiplier	EFF	Wattage
A	5	Lithonia Lighting	DSX1 LED P7 40K TSW MVOLT HS	DSX1 LED P7 40K TSW MVOLT with houseside shield	LED	1	DSX1_LED_P7_40K_TSW_MVOLT_HS.ies	14131	1	1	183
B	1	Lithonia Lighting	DSX1 LED P7 40K T15 MVOLT HS	DSX1 LED P7 40K T15 MVOLT with houseside shield	LED	1	DSX1_LED_P7_40K_T15_MVOLT_HS.ies	17860	1	1	183
C	3	Lithonia Lighting	CSXW LED 30C 700 40K TFTM	CONTOUR SERIES LED WALL-MOUNT WITH 30 4000K LEDES OPERATED AT 700mA AND PRECISION HOLLOWED ACRYLIC FORWARD THROW LENS	LED	1	CSXW_LED_30C_700_40K_TFTM.ies	8083	1	1	69

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
CAR PARKING & DRIVEWAY AREAS	+	1.2 fc	5.5 fc	0.3 fc	18.3:1	4.0:1
LOADING AREA	+	1.6 fc	3.0 fc	0.7 fc	4.3:1	2.3:1
SIDEWALK	+	1.0 fc	2.7 fc	0.6 fc	4.5:1	1.7:1

THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING STRUCTURES AND UTILITIES, WHICH HE DEEMS NECESSARY, BOTH ABOVE AND BELOW THE GROUND SURFACE BEFORE HEAVY EQUIPMENT ENTERS THE CONSTRUCTION SITE.

FINAL INQUIRIES TO "UNDERGROUND UTILITIES" (PHONE #: 1-800-272-1000) SHALL BE MADE BY THE CONTRACTOR AND/OR OWNER WITHIN SEVEN (7) DAYS OF ENTERING THE SITE. THE CONTRACTOR AND/OR OWNER SHALL COORDINATE AND VERIFY THE METHOD OF UTILITY LOCATION WITH THE APPROPRIATE UTILITY COMPANIES.

IN GENERAL, THE VERTICAL DESIGN OF PROPOSED GRAVITY UTILITIES, AS SHOWN, ARE INFLUENCED BY THE EXISTING GRAVITY UTILITIES ONLY, WHICH MAY NECESSITATE THE RELOCATIONS OF OTHER UTILITIES.

UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE, AND BASED ON EXISTING INFORMATION RECEIVED FROM UTILITY COMPANIES.

REVISION NO. 2: CHANGE TITLE BLOCK NAME.  
REVISION NO. 1: REVISED SHEET NUMBER AND ADDED POCKET PARK.

DESIGNED: VAK	DRAWN: TSW	CHECKED: EPB
DATE SIGNED: 5-6-21	NO. 1	DATE 04/29/21
EDWARD P. BRADY	NO. 2	DATE 05/06/21

**LIGHTING PLAN**

HISTORIC BOROUGH OF LAWNSIDE WOODCREST STATION BUSINESS PARK BUILDING 'C'

PLATE 7.01, BLOCK 601, LOT 1.01  
BOROUGH OF LAWNSIDE, CAMDEN COUNTY, NJ

**Taylor Wiseman & Taylor**  
ENGINEERS / SURVEYORS / SCIENTISTS  
124 Gaither Drive, Suite 150, Mt Laurel, NJ 08054  
TELEPHONE: (856) 235-7200 FAX: (856) 722-9250  
www.taylorwiseman.com  
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA20032000

N.J. PROFESSIONAL ENGINEER NO. 24GE03283600

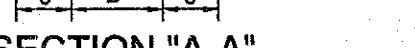
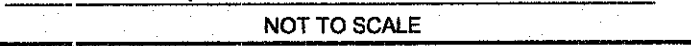
SCALE: 1"=30'

DATE: FEBRUARY 24, 2021

DRAWING NO. 021-17854-BLDGCSPP

SHEET: 9 OF 12



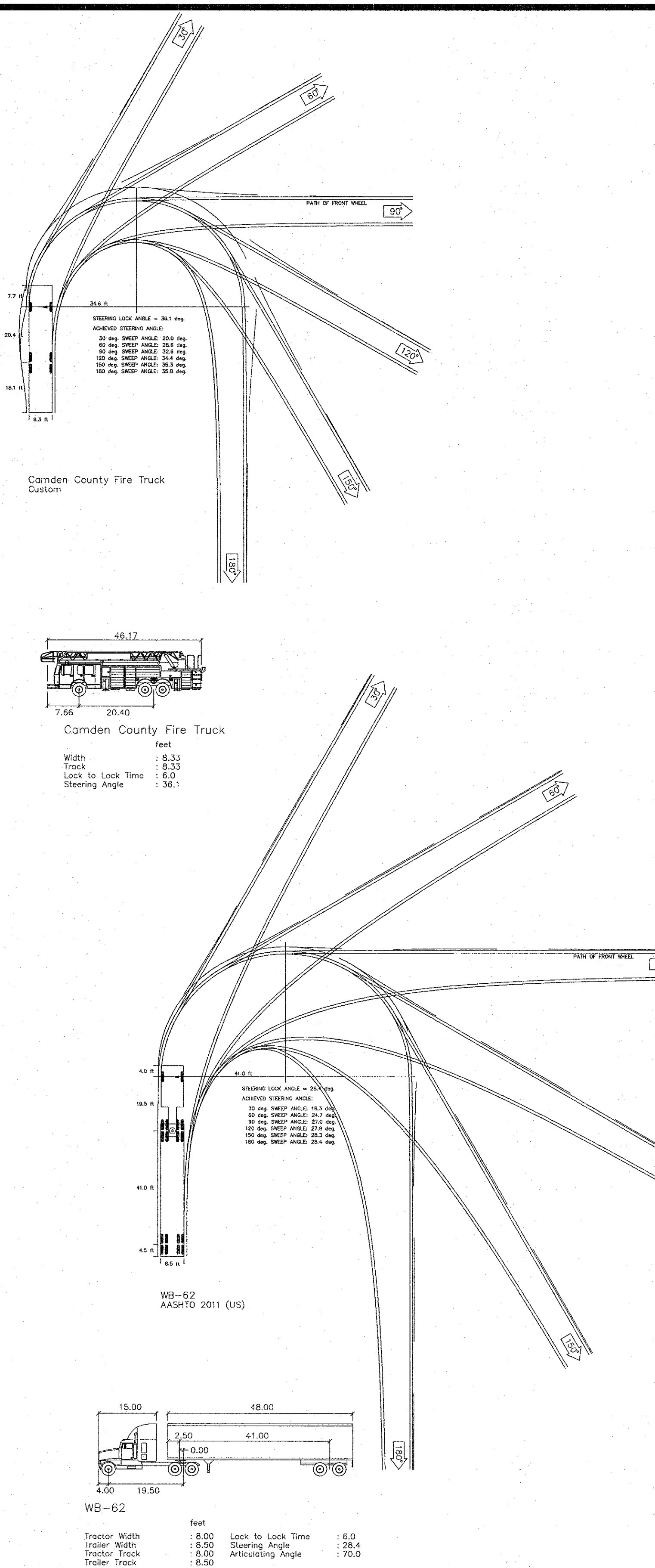
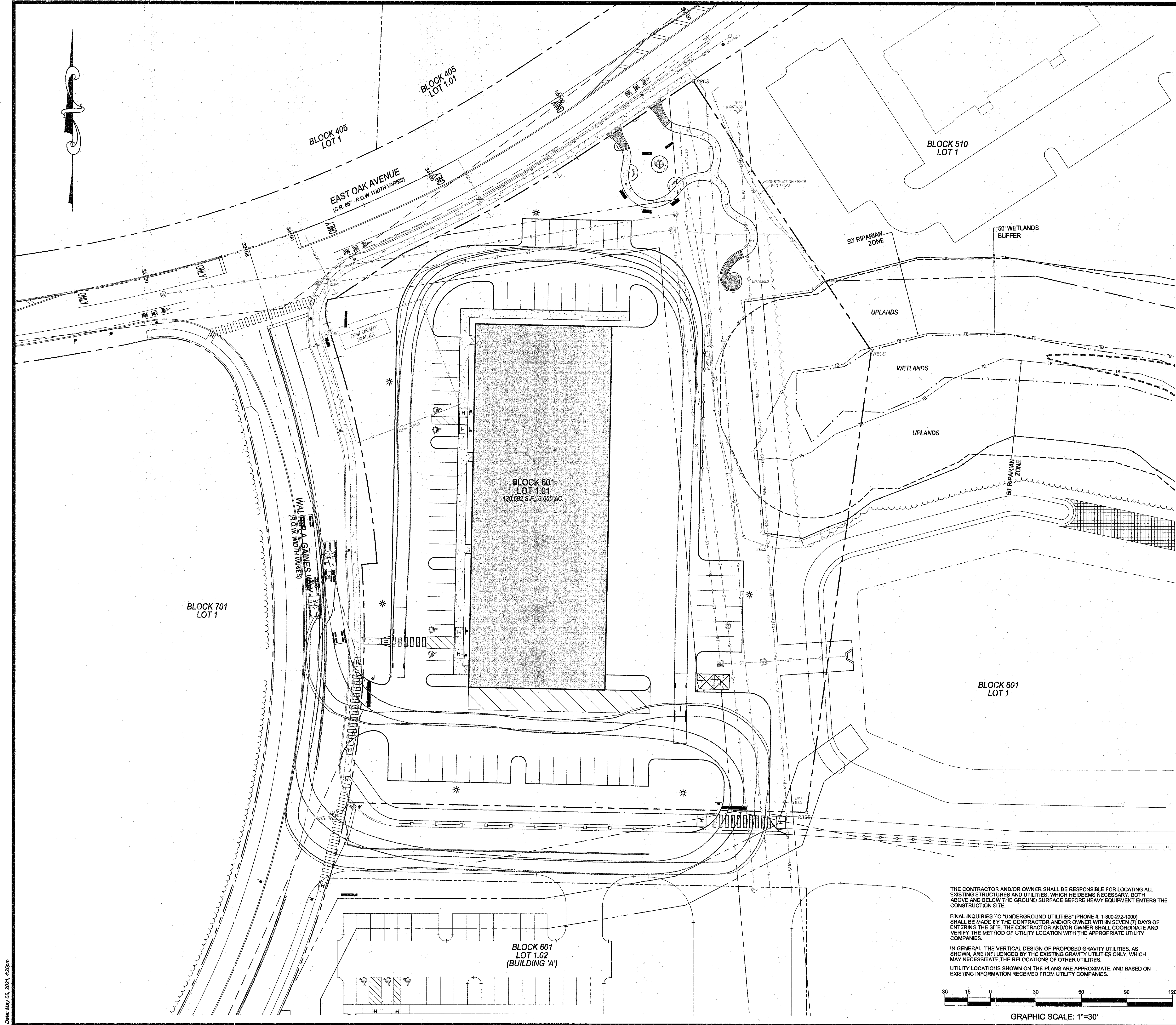


## CONSTRUCTION DETAILS









THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING STRUCTURES AND UTILITIES, WHICH HE DEEMS NECESSARY, BOTH ABOVE AND BELOW THE GROUND SURFACE BEFORE HEAVY EQUIPMENT ENTERS THE CONSTRUCTION SITE.

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REVISION NO. 1: REVISED SHEET NUMBER AND ADDED POCKET PARK.

DESIGNED:	DRAWN:	CHECKED:
WVK	TSW	EPH
DATE SIGNED: 5-6-21		
EDWARD P. BRADY		
<i>Edward P. Brady</i>		

REVISIONS	
NO.	DATE
1	04/29/21
2	05/08/21

**CIRCULATION PLAN**

**HISTORIC BOROUGH OF LAWSIDE  
WOODCREST STATION BUSINESS PARK  
BUILDING 'C'**

PLATE 7.01, BLOCK 601, LOT 1.01  
BOROUGH OF LAWSIDE, CAMDEN COUNTY, NJ

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TELEPHONE: (856) 235-7200 FAX: (856) 722-6290  
www.taylorwiseman.com  
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA28032900

**TWT**

N.J. PROFESSIONAL ENGINEER NO. 24GEC05263600	SCALE 1"=30'	DATE FEBRUARY 24, 2021	DRAWING NO. 021-17854-BLOGCSP	SHEET 12 OF 12
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