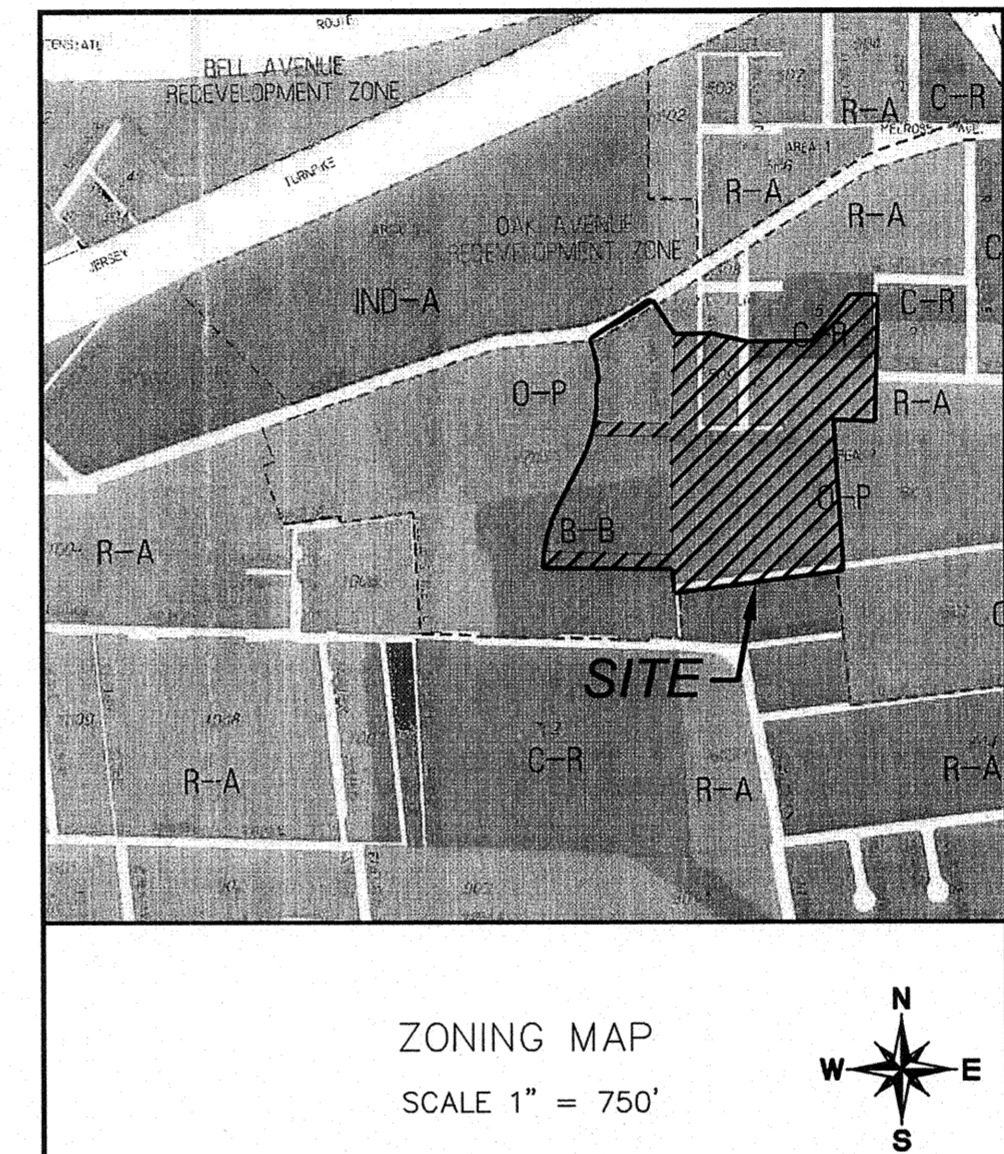
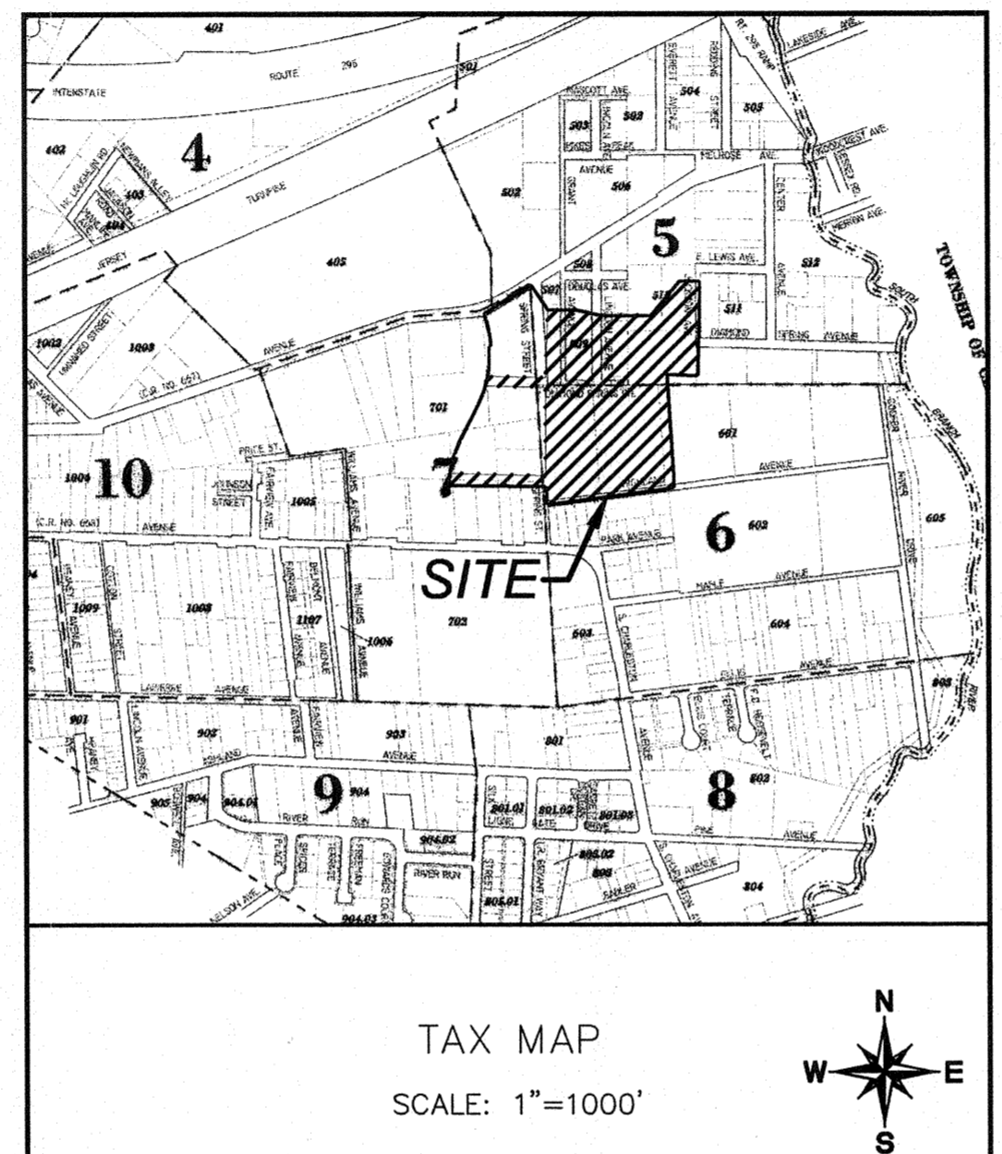
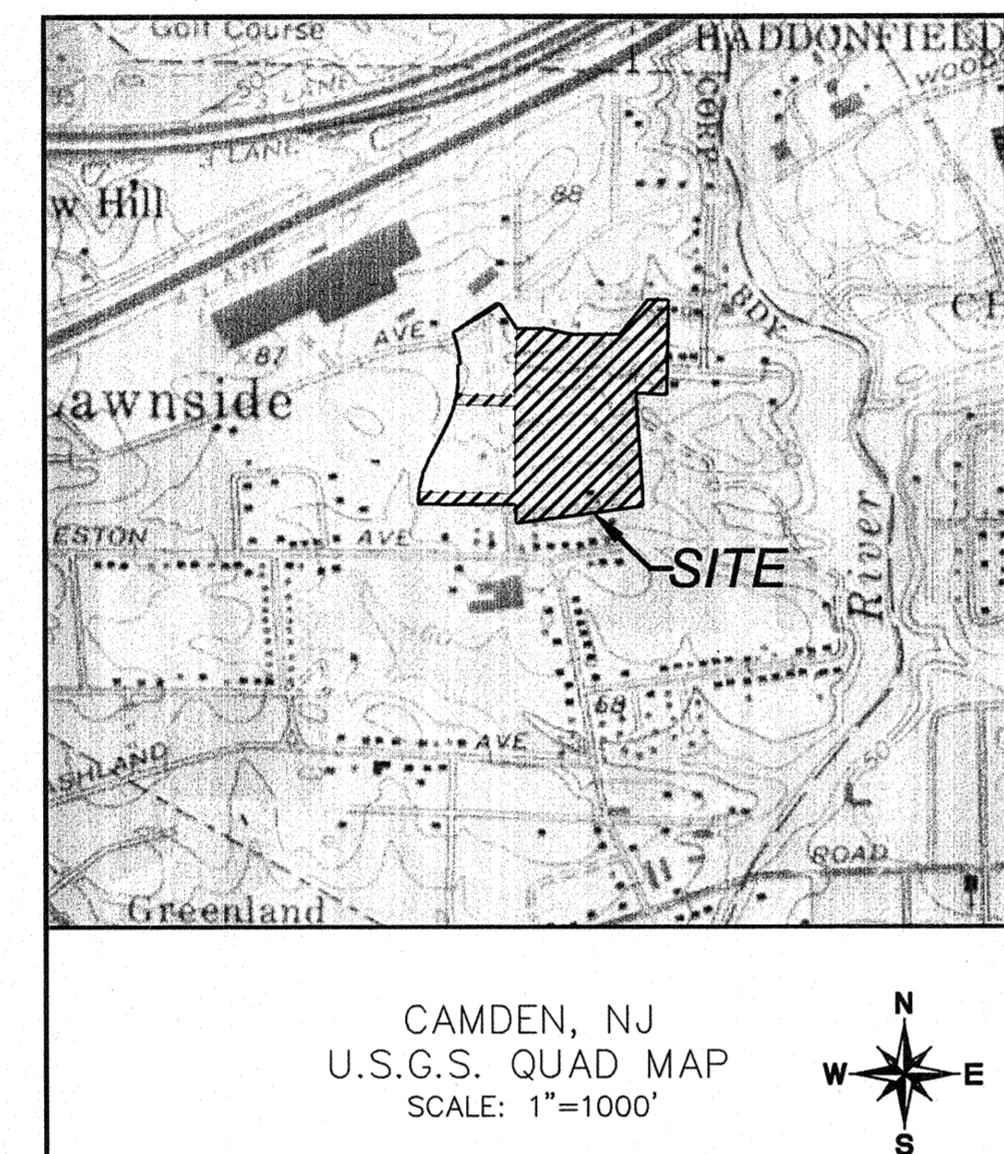


WOODCREST STATION BUSINESS PARK

101 WALTER A. GAINES WAY PLATE 7.01, BLOCK 601, LOT 1 AMENDED SITE PLAN BLOCK 601, LOTS 1.01, 1.02, & 1.03 PHASE 2 - FLEX BUILDING "B"



ZONING DISTRICT DESIGNATIONS
LAST REVISED 09-01-2011 - ORDINANCE NO. 02-17068

RESIDENTIAL (R)	MINIMUM LOT AREA
R-AA - SINGLE FAMILY DISTRICT	10,000 SF
R-A - SINGLE FAMILY DISTRICT	15,000 SF
R-C - SINGLE FAMILY DISTRICT	15,000 SF
GARDEN APARTMENTS DISTRICT	15.0 ACRES
BUSINESS (B)	
B-A - NEIGHBORHOOD DISTRICT	
B-B - GENERAL DISTRICT	
INDUSTRIAL (IND)	
I-A - LIMITED DISTRICT (BY DD SF)	
I-B - GENERAL DISTRICT	
CONSERVATION & RECREATION	
C-R - CONSERVATION & RECREATION DISTRICT	
C-P - PLANNED OFFICE PARK DISTRICT	
REDEVELOPMENT AREAS	
REDEVELOPMENT AREA (RDA) (DD NO. 15-FY2009)	
OAK AVENUE REDEVELOPMENT AREA (RDA) (DD NO. 14-FY2006)	
WIP COMMERCIAL AREA (DD NO. 1)	

INDEX

SHEET NUMBER	SHEET TITLE
1	TITLE SHEET
2	OVERALL SITE PLAN
3	SITE PLAN
4	GRADING PLAN
5	UTILITY PLAN
6	SOIL EROSION AND SEDIMENT CONTROL PLAN
7	SOIL EROSION SEDIMENT CONTROL DETAILS & NOTES
8	SOIL COMPACTION MITIGATION PLAN
9	LANDSCAPE PLAN
10	LIGHTING PLAN
11	CONSTRUCTION DETAILS
12	CONSTRUCTION DETAILS
13	CIRCULATION PLAN

*PROJECT SITE WITHIN REDEVELOPMENT PLAN - AREA 2

BOROUGH CERTIFICATIONS

THIS PLAN IS HEREBY APPROVED BY THE PLANNING BOARD OF THE BOROUGH OF LAWNSIDE.

PLANNING BOARD CHAIRPERSON	DATE
PLANNING BOARD SECRETARY	DATE
PLANNING BOARD ENGINEER	DATE

OWNER/APPLICANT

VCC LAWNSIDE BUSINESS PARK I URBAN RENEWAL, LLC
228 WEST LANDIS AVENUE, SUITE 300
P.O. BOX 1517
VINELAND, NJ 08362
PHONE: (856) 794-4706
FAX: (856) 794-4721

THE FOLLOWING IS A LIST OF PUBLIC UTILITY, CABLE TELEVISION COMPANY, OR LOCAL UTILITY WHICH POSSESSES A RIGHT-OF-WAY OR EASEMENT WITHIN THE MUNICIPALITY AND WHICH HAS REGISTERED WITH THE MUNICIPALITY TO RECEIVE NOTICE.

- PUBLIC SERVICE ELECTRIC & GAS MANAGER-CORPORATE PROPERTIES 80 PARK PLAZA, 768 NEWARK, NJ 07102
- VERIZON NJ REAL ESTATE DEPARTMENT LAND USE MATTERS 650 PARK AVENUE EAST ORANGE, NJ 07017
- CONNECTICUT REAL ESTATE DEPARTMENT 5700 HARDING HIGHWAY, SUITE 395 MAYS LANDING, NJ 08330
- COMCAST CABLE TV 7250 HADDONFIELD-BERLIN ROAD CHERRY HILL, NJ 08003
- SOUTH JERSEY GAS INC. CHUCK D'IPPOLITO, ENGINEER 1 SO. JERSEY PLAZA FOLSOM, NJ 08037
- NEW JERSEY AMERICAN WATER COMPANY 213 CARRIAGE LANE DELRAN, NJ 08075
- CAMDEN COUNTY PLANNING BOARD 2311 EGG HARBOR ROAD LINDENWOOD, NJ 08021
- CAMDEN COUNTY SOIL CONSERVATION DISTRICT 723 COMMERCE LANE, SUITE 1 WEST BERLIN, NJ 08091
- CAMDEN COUNTY MUNICIPAL UTILITIES AUTHORITY 1000 PARK AVENUE CAMDEN, NJ 08104
- NJ DEPARTMENT OF TRANSPORTATION 1035 PARKWAY AVENUE, CN 613 TRENTON, NJ 08625
- COLONIAL PIPELINE COMPANY 10 LEROY AVENUE MOUNT LAUREL, NJ 08054
- SOHIO PIPELINE COMPANY PO BOX 94583, TAX DEPARTMENT CLEVELAND, OHIO 44101
- TRANSCONTINENTAL GAS PIPELINE COMPANY 2200 SOUTHWOOD AVENUE LINDEN, NJ 07036

THE FOLLOWING IS A LIST OF PROPERTY OWNERS LOCATED WITHIN 200 FEET OF BLOCK 601, LOT 1 AS PROVIDED BY THE BOROUGH OF LAWNSIDE TAX ASSESSOR ON AUGUST 15, 2020.

BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER
405	1	EDISON CORP C/O BT - NEWYO LLC TAX DEPT PO BOX 28606 ATLANTA, GA 30328	512	9	LAWNSIDE BOROUGH WARWICK ROAD LAWNSIDE, NJ 08045
510	17	FARHAT, ARAFAT 470 DIAMOND SPRING AVENUE CHERRY HILL, NJ 08003	512	10	LAWNSIDE BOROUGH WARWICK ROAD LAWNSIDE, NJ 08045
511	1	COLLIER WAYNE 470 LEWIS AVENUE CHERRY HILL, NJ 08003	512	11	LAWNSIDE BOROUGH WARWICK ROAD LAWNSIDE, NJ 08045
511	2	COLLIER WAYNE 470 LEWIS AVENUE CHERRY HILL, NJ 08003	601	2	STATION OAK PARTNERS URBAN RENEWAL 600 S. LIVINGSTON AVENUE #102 LIVINGSTON, NJ 07039
511	3	LAWNSIDE BOROUGH WARWICK ROAD LAWNSIDE, NJ 08045	601	3	VINELAND CONSTRUCTION CO PO BOX 1517 VINELAND, NJ 08362
511	4	MATRINEZ, ANTONIO & SONIA 478 LEWIS STREET CHERRY HILL, NJ 08003	601	12	PROCTOR, JESSE PO BOX 633 MARLTON, NJ 08053
511	5	BROOKS, DEBORAH J 488 E. LEWIS AVENUE CHERRY HILL, NJ 08003	601	13	PULLIN, STEPHANIE 373 CHARLESTON AVENUE LAWNSIDE, NJ 08045
511	6	LAWNSIDE BOROUGH WARWICK ROAD LAWNSIDE, NJ 08045	601	14	BANK OF AMERICA C/O ECOVA, INC PO BOX 742226 DALLAS, TX 75374
511	7	LAWNSIDE BOROUGH WARWICK ROAD LAWNSIDE, NJ 08045	601	15	LICUP, EZEKIAL, LERNA 385 E. CHARLESTON AVENUE LAWNSIDE, NJ 08045
511	8	ARNDT AUGUST C/O YUSUF AL I 1927 PARK BOULEVARD CAMDEN, NJ 08103	601	16	FIRST REG DEMOCRAT CLUB 381 CHARLESTON AVENUE LAWNSIDE, NJ 08045
512	4	HARMON, MARY E 507 DIAMOND SPRING AVENUE CHERRY HILL, NJ 08003	602	1	ALL YUNOS L-ESTATE OF 405 E. CHARLESTON AVENUE LAWNSIDE, NJ 08045
512	5	HARMON, MARY E 507 DIAMOND SPRING AVENUE CHERRY HILL, NJ 08003	602	2	ALI, AQUILA 405 E. CHARLESTON AVENUE LAWNSIDE, NJ 08045
512	6	HARMON, RAYMOND EMMETT 507 DIAMOND SPRING AVENUE CHERRY HILL, NJ 08003	602	3	MEARS, JR EARLY E C 411 E. CHARLESTON AVENUE LAWNSIDE, NJ 08045
512	7	CCMJA 1645 FERRY AVENUE CAMDEN, NJ 08101	602	4	GILADY, YIZHAR 415 E. CHARLESTON AVENUE LAWNSIDE, NJ 08045
512	8	LAWNSIDE BOROUGH 91 CENTER AVENUE LAWNSIDE, NJ 08045	602	5	STILL, PRESTON G, JR 419 E. CHARLESTON AVENUE LAWNSIDE, NJ 08045

BOROUGH OF LAWNSIDE CAMDEN COUNTY, NEW JERSEY

LEGEND

EXISTING	PROPOSED
50-FOOT RIPARIAN ZONE	N/A
50' WETLANDS BUFFER	N/A
TOP OF BANK	N/A
REGULATORY FLOODPLAIN (NUSFHAD)	N/A
WETLANDS LINE	N/A
BOUNDARY LINE - PROPERTY IN QUESTION	N/A
ADJACENT PROPERTY LINES (NOT SURVEYED)	N/A
RIGHT-OF-WAY LINE (PROPOSED LOT LINE)	N/A
CENTERLINE	
EASEMENT	
EDGE OF WOODS	
SANITARY SEWER	
STORM DRAIN	
WATER MAIN	
SANITARY LATERAL	
ROOF DRAIN	
WATER SERVICE	
TELEPHONE LINE	
ELECTRIC LINE	
GAS LINE	
GATE VALVE	
TEE	
PLUG(CAP)	
MAJOR CONTOUR LINE	
MINOR CONTOUR LINE	
GRADE	
MEET EXISTING GRADE	
TOP OF CURB ELEVATION	
GUTTER ELEVATION	
HANDICAP RAMP	
CONCRETE CURB	
DEPRESSED CONCRETE CURB	
MOUNTABLE MONOLITHIC CURB & GUTTER	
EDGE OF PAVEMENT	
CONCRETE	
CONCRETE HEADWALL	
FLARED END SECTION	
FIRE HYDRANT	
SIGN	
GAS VALVE	
GUY WIRE	
WATER VALVE	
STREET LIGHT POLE	
TELECOMMUNICATIONS BOX	
TRAFFIC SIGNAL POLE	
UTILITY POLE	
'B' INLET	
'E' INLET	
'A' INLET	
MANHOLE - SANITARY SEWER	

TITLE SHEET

WOODCREST STATION BUSINESS PARK
101 WALTER A. GAINES WAY
PLATE 7.01, BLOCK 601, LOT 1
BLOCK 601, LOTS 1.01, 1.02, & 1.03
BOROUGH OF LAWNSIDE, CAMDEN COUNTY, NJ

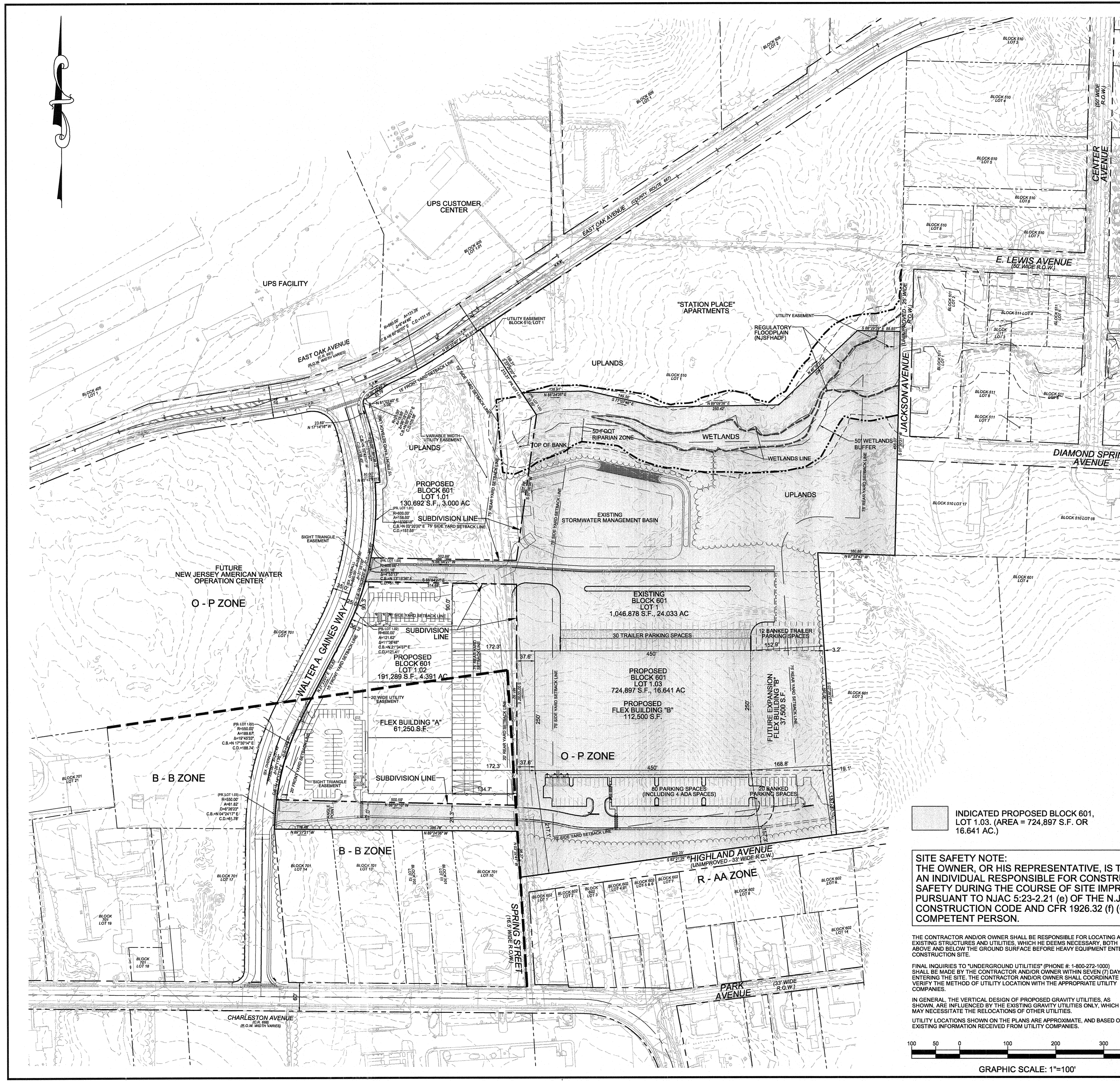
Taylor Wiseman & Taylor
ENGINEERS / SURVEYORS / SCIENTISTS
124 Galther Drive, Suite 150, NJ Laurel, NJ 08054
TELEPHONE: (856) 235-7200 FAX: (856) 722-9250
www.taylorwiseman.com
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA26032900

DESIGNED: VAK DATE: 8-17-20
DRAWN: AMH
CHECKED: EPB
REVISIONS: NO. DATE

EDWARD P. BRADY

SCALE: AS SHOWN DATE: 8/17/2020 DRAWING NO: 2020-17854-WARES2 SHEET: 1 of 13

Date: Aug 17, 2020, 10:47am



- NOTES:**
- OWNER/APPLICANT: VCC LAWNSIDE BUSINESS PARK URBAN RENEWAL, LLC
 228 WEST LANDIS AVENUE, SUITE 300
 P.O. BOX 1517
 VINELAND, NJ 08362
 PHONE: (856) 794-4706
 FAX: (856) 794-4721
- ZONING DISTRICT: REDEVELOPMENT PLAN - AREA 2, (B-B) BUSINESS DISTRICT & (O-P) PLANNED OFFICE PARK DISTRICT
 - TRACT IS IDENTIFIED AS PROPOSED BLOCK 601, LOT 1.03 CONTAINING AN AREA OF 16.641 ACRES.
 - BLOCK AND LOT NUMBERS REFER TO THE OFFICIAL TAX MAPS OF THE BOROUGH OF LAWNSIDE, CAMDEN COUNTY, NEW JERSEY, PLATE NO. 7.01.
 - PLAN BASED ON N.J.S.P.C.S. NAD '83 (2011), PLAN SCALED TO GROUND AT POINT 1011
 GROUND SCALE FACTOR: 1.0000728748
 GROUND SCALE ORIGIN: N:378167.737 E:347103.224 Z:43.066
 VERTICAL DATUM: NAVD 1988
 - OVERALL OUTBOUND INFORMATION TAKEN FROM PLAN ENTITLED "MAJOR SUBDIVISION PLAN, BLOCK 507 LOTS 1 & 2, BLOCK 508 LOT 1, BLOCK 509 LOTS 1-3, BLOCK 510 LOTS 1-8 & 9-16, BLOCK 601 LOTS 1 & 2, BLOCK 701 LOTS 1-8 & 15-17, BLOCK 1004 LOTS 28-33, BOROUGH OF LAWNSIDE, CAMDEN COUNTY, NEW JERSEY" PREPARED BY TAYLOR WISEMAN & TAYLOR, DWG. NO. 2016-17854-LAWNSIDE-SUBM1 SHEETS 1-5 OF 5, DATED JUNE 14, 2016, REVISED TO APRIL 8, 2019, FILED IN THE CAMDEN COUNTY CLERK'S OFFICE ON JUNE 21, 2019 IN BOOK 918, PAGE 14.
 - PROPOSED OUTBOUND INFORMATION TAKEN FROM PLAN ENTITLED "MINOR SUBDIVISION PLAN, BLOCK 601, LOT 1, 101 WALTER A. GAINES WAY, WOODCREST STATION BUSINESS PARK, BOROUGH OF LAWNSIDE, CAMDEN COUNTY, NEW JERSEY" PREPARED BY TAYLOR WISEMAN & TAYLOR, DWG. NO. 2020-17854-B601-1-SUBD SHEETS 1-2 OF 2, DATED AUGUST 17, 2020.
 - PLANIMETRIC FEATURES SHOWN ARE FROM PLAN REFERENCED AT NOTE 5 AS TAKEN FROM AERIAL PHOTOGRAPHY PROVIDED BY AXIS GEOSPATIAL, LLC AND SUPPLEMENTED BY AN ACTUAL FIELD SURVEY BY TAYLOR WISEMAN AND TAYLOR LAST UPDATED IN APRIL 2018. DATE OF PHOTOGRAPHY IS MARCH 29, 2013. NOTE THAT SITE IS CURRENTLY UNDER CONSTRUCTION AND NOT ACCESSIBLE AT THIS TIME TO PLOT EXISTING SITE CONDITIONS.
 - FRESHWATER WETLANDS LINE TAKEN FROM PLAN ENTITLED "WETLANDS LOCATION PLAN, BLOCK 507 LOTS 1 & 2, BLOCK 508 LOT 1, BLOCK 509 LOTS 1-3, BLOCK 510 LOTS 1-8 & 9-16, BLOCK 601 LOT 1, BLOCK 701 LOTS 1-8 & 15-17, BLOCK 1004 LOTS 28-33, BOROUGH OF LAWNSIDE, CAMDEN COUNTY, NEW JERSEY" PREPARED BY TAYLOR WISEMAN & TAYLOR, REVISED TO 04/20/17, DRAWING NO. 2017-17854-LAWNSIDE-WETL2.L.O.I. APPROVED BY NJDEP #042117-0001.1 FWW170001.
 - ALL MATERIALS, METHODS AND DETAILS OF CONSTRUCTION IMPROVEMENTS SHALL CONFORM TO THE REGULATIONS OF THE BOROUGH OF LAWNSIDE, THE COUNTY OF CAMDEN, THE STATE OF NEW JERSEY AND/OR THE APPROPRIATE UTILITY COMPANY, WHICHEVER REGULATION TAKES PRECEDENCE. IN THE EVENT OF CONTRADICTION, THE GREATER SPECIFICATION WILL TAKE PRECEDENCE.
 - THE OWNER OR HIS REPRESENTATIVE IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF

LOT REQUIREMENTS (PER ORDINANCE No. 01-2018)	REDEVELOPMENT PLAN AREA 2 REQUIREMENTS	(B-B) BUSINESS DISTRICT REQUIREMENTS	(O-P) PLANNED OFFICE PARK DISTRICT REQUIREMENTS	PROPOSED BLOCK 601 LOT 1.01	PROPOSED BLOCK 601 LOT 1.02	PROPOSED BLOCK 601 LOT 1.03
MINIMUM LOT AREA	N/A	3,500 S.F.	3 AC	3,000 AC	4,391 AC	16,641 AC
MAXIMUM BUILDING HEIGHT	45 FEET (4 STORIES)	40 FEET (3 STORIES)	N/A	N/A	< 45 FEET	< 45 FEET
MINIMUM OPEN SPACE	20%	N/A	N/A	N/A	24.4% (1.071 AC)	54.9% (9.131 AC)
MAXIMUM IMPERVIOUS SURFACE COVERAGE (INCLUDING FUTURE PARKING)	80%	N/A	N/A	N/A	75.6% (3.32 AC)	45.1% (7.510 AC)
MINIMUM SEPARATION BETWEEN BUILDINGS	15 FEET	N/A	N/A	N/A	172.3 FEET	172.3 FEET
MINIMUM SETBACK OF STRUCTURES FROM ANY ROADWAYS	15 FEET	N/A	N/A	N/A	36.3 FEET	N/A
MINIMUM FRONT YARD SETBACK	N/A	20 FEET	125 FEET	N/A	36.3 FEET	N/A
MINIMUM SIDE YARD SETBACK	N/A	0 FEET	75 FEET	N/A	17.0 FEET (B-B) 90.0 FEET (O-P)	37.6 FEET
MINIMUM REAR YARD SETBACK	N/A	20 FEET	75 FEET	N/A	134.7 FEET (B-B) 134.7 FEET (O-P)	3.2 FEET

FLEX BUILDING "B" (150,000 S.F.) PARKING REQUIREMENT (PER SECTION 96-84(1))

1 PARKING SPACE FOR EACH 300 S.F. FOR OFFICE SPACE
 1 PARKING SPACE FOR EACH 400 S.F. FOR INDUSTRIAL SPACE

12,000 S.F. X (1 SPACE / 300 S.F.) = 40
 138,000 S.F. X (1 SPACE / 400 S.F.) = 345
 385 REQUIRED

FLEX BUILDING "B" (150,000 S.F.) PARKING REQUIREMENT (UTILIZING 1 PARKING SPACE PER 5,000 S.F. WAREHOUSE USE)

1 PARKING SPACE FOR EACH 300 S.F. FOR OFFICE SPACE
 *1 PARKING SPACE FOR EACH 5,000 S.F. FOR WAREHOUSE SPACE

ANTICIPATED OFFICE: 12,000 S.F. X (1 SPACE / 300 S.F.) = 40
 WAREHOUSE: 138,000 S.F. X (1 SPACE / 5000 S.F.) = 28
 68 REQUIRED

PARKING BREAKDOWN PROVIDED FOR FLEX BUILDING "B"

76 PROPOSED SPACES (8' X 18')
 4 PROPOSED ADA SPACES (8' X 18')
 20 BANKED SPACES (8' X 18')
 100 TOTAL CAR PARKING SPACES PROVIDED

30 TRAILER PARKING SPACES
 12 BANKED TRAILER PARKING SPACES
 42 TOTAL TRAILER PARKING SPACES PROVIDED

*SEE VARIANCE NOTE #1

- VARIANCE:**
- REQUEST A VARIANCE TO ALLOW ONE (1) PARKING SPACE FOR EACH 5,000 S.F. FOR WAREHOUSE SPACE WHERE ONE (1) PARKING SPACE FOR EACH 400 S.F. FOR MANUFACTURING ESTABLISHMENT OR INDUSTRIAL USE IS REQUIRED.
 - REQUEST A VARIANCE TO ALLOW 37.6 FEET SIDE YARD SETBACK FOR BUILDING "B" WHERE 75 FEET IS REQUIRED PER SECTION 96-77E.(1).
 - REQUEST A VARIANCE TO ALLOW 3.2 FEET REAR YARD SETBACK FOR BUILDING "B" FUTURE ADDITION WHERE 75 FEET IS REQUIRED PER SECTION 96-77E.(1).
- SUBMISSION WAIVER:**
- ARCHITECTURAL PLAN & ELEVATION.

INDICATED PROPOSED BLOCK 601, LOT 1.03. (AREA = 724,897 S.F. OR 16.641 AC.)

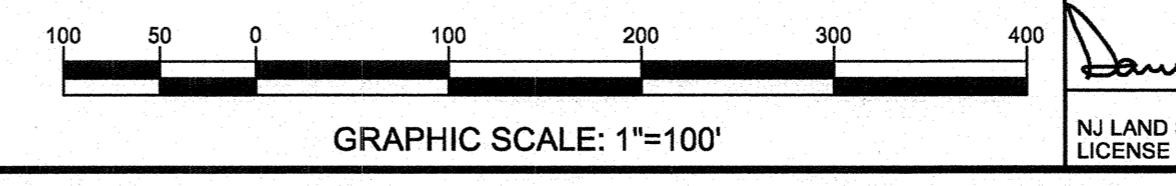
SITE SAFETY NOTE:
 THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO NJAC 5:23-2.21 (e) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32 (f) (OSHA) COMPETENT PERSON.

THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING STRUCTURES AND UTILITIES, WHICH HE DEEMS NECESSARY, BOTH ABOVE AND BELOW THE GROUND SURFACE BEFORE HEAVY EQUIPMENT ENTERS THE CONSTRUCTION SITE.

FINAL INQUIRIES TO "UNDERGROUND UTILITIES" (PHONE #: 1-800-272-1000) SHALL BE MADE BY THE CONTRACTOR AND/OR OWNER WITHIN SEVEN (7) DAYS OF ENTERING THE SITE. THE CONTRACTOR AND/OR OWNER SHALL COORDINATE AND VERIFY THE METHOD OF UTILITY LOCATION WITH THE APPROPRIATE UTILITY COMPANIES.

IN GENERAL, THE VERTICAL DESIGN OF PROPOSED GRAVITY UTILITIES, AS SHOWN, ARE INFLUENCED BY THE EXISTING GRAVITY UTILITIES ONLY, WHICH MAY NECESSITATE THE RELOCATIONS OF OTHER UTILITIES.

UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE, AND BASED ON EXISTING INFORMATION RECEIVED FROM UTILITY COMPANIES.



DATE SIGNED: 8-17-20	DESIGNED: B-17-20	DRAWN: AMH	CHECKED:
SAMUEL S. PREVITERA	EDWARD P. BRADY		
N.J. LAND SURVEYOR LICENSE NO. 24G503897800	N.J. PROFESSIONAL ENGINEER NO. 24GE03283600		

OVERALL SITE PLAN

WOODCREST STATION BUSINESS PARK
 101 WALTER A. GAINES WAY
 PLATE 7.01, BLOCK 601, LOT 1
 BLOCK 601, LOTS 1.01, 1.02, & 1.03
 BOROUGH OF LAWNSIDE, CAMDEN COUNTY, NJ

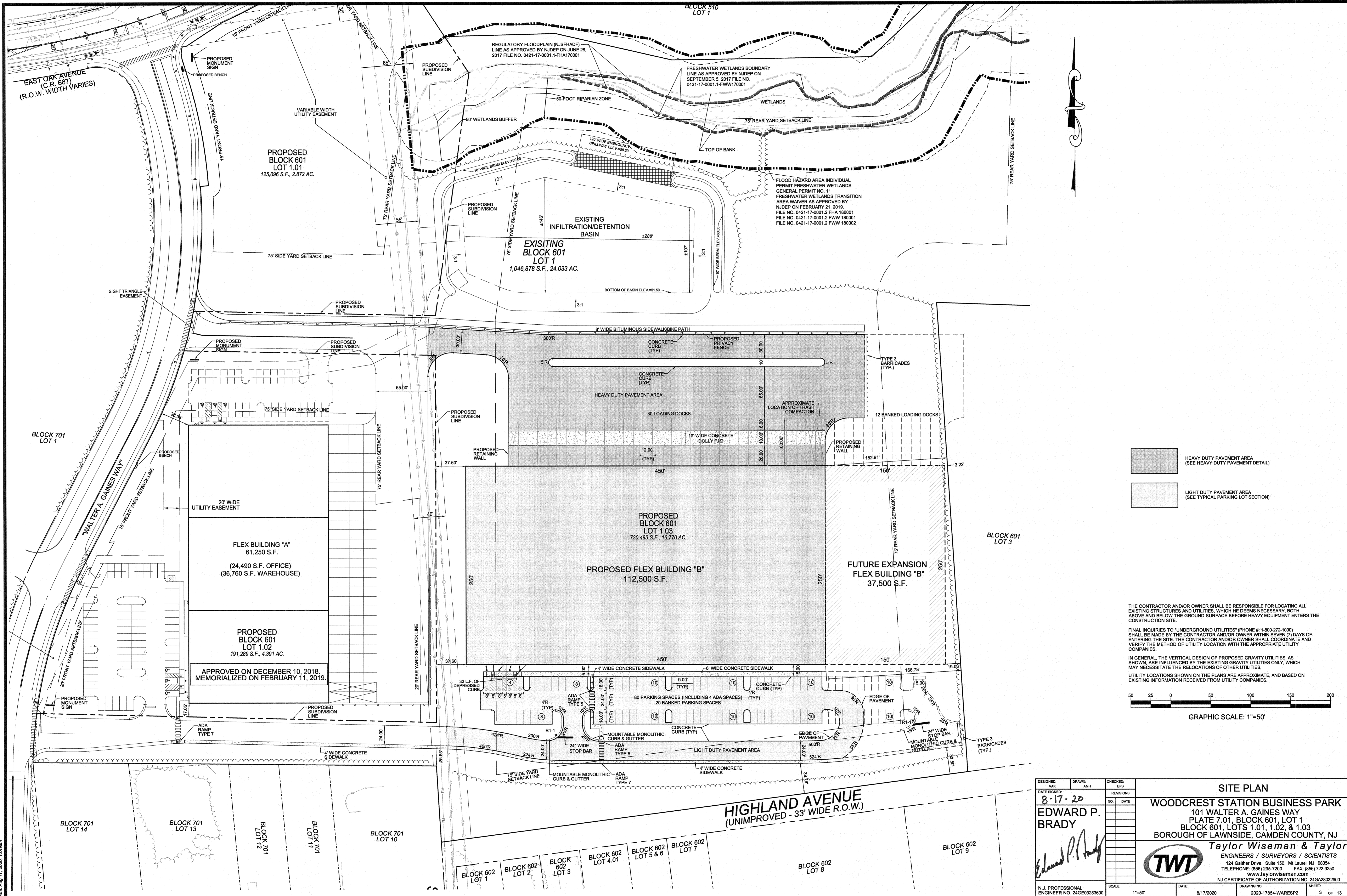
Taylor Wiseman & Taylor
 ENGINEERS / SURVEYORS / SCIENTISTS
 124 Galtier Drive, Suite 150, Mt Laurel, NJ 08054
 TELEPHONE: (856) 235-7200 FAX: (856) 722-9250
 www.taylorwiseman.com
 NJ CERTIFICATE OF AUTHORIZATION NO. 24GA28032900

SCALE: 1"=100'

DATE: 8/17/2020

DRAWING NO. 2020-17854-WARESP2

SHEET: 2 of 13



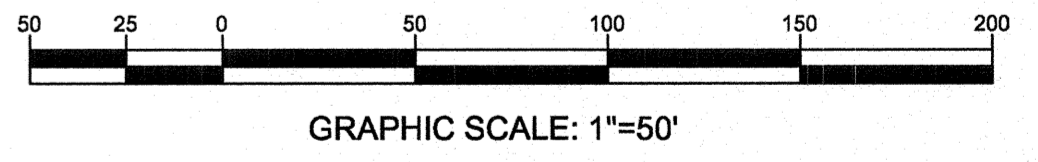
- HEAVY DUTY PAVEMENT AREA (SEE HEAVY DUTY PAVEMENT DETAIL)
- LIGHT DUTY PAVEMENT AREA (SEE TYPICAL PARKING LOT SECTION)

THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING STRUCTURES AND UTILITIES, WHICH HE DEEMS NECESSARY, BOTH ABOVE AND BELOW THE GROUND SURFACE BEFORE HEAVY EQUIPMENT ENTERS THE CONSTRUCTION SITE.

FINAL INQUIRIES TO "UNDERGROUND UTILITIES" (PHONE #: 1-800-272-1000) SHALL BE MADE BY THE CONTRACTOR AND/OR OWNER WITHIN SEVEN (7) DAYS OF ENTERING THE SITE. THE CONTRACTOR AND/OR OWNER SHALL COORDINATE AND VERIFY THE METHOD OF UTILITY LOCATION WITH THE APPROPRIATE UTILITY COMPANIES.

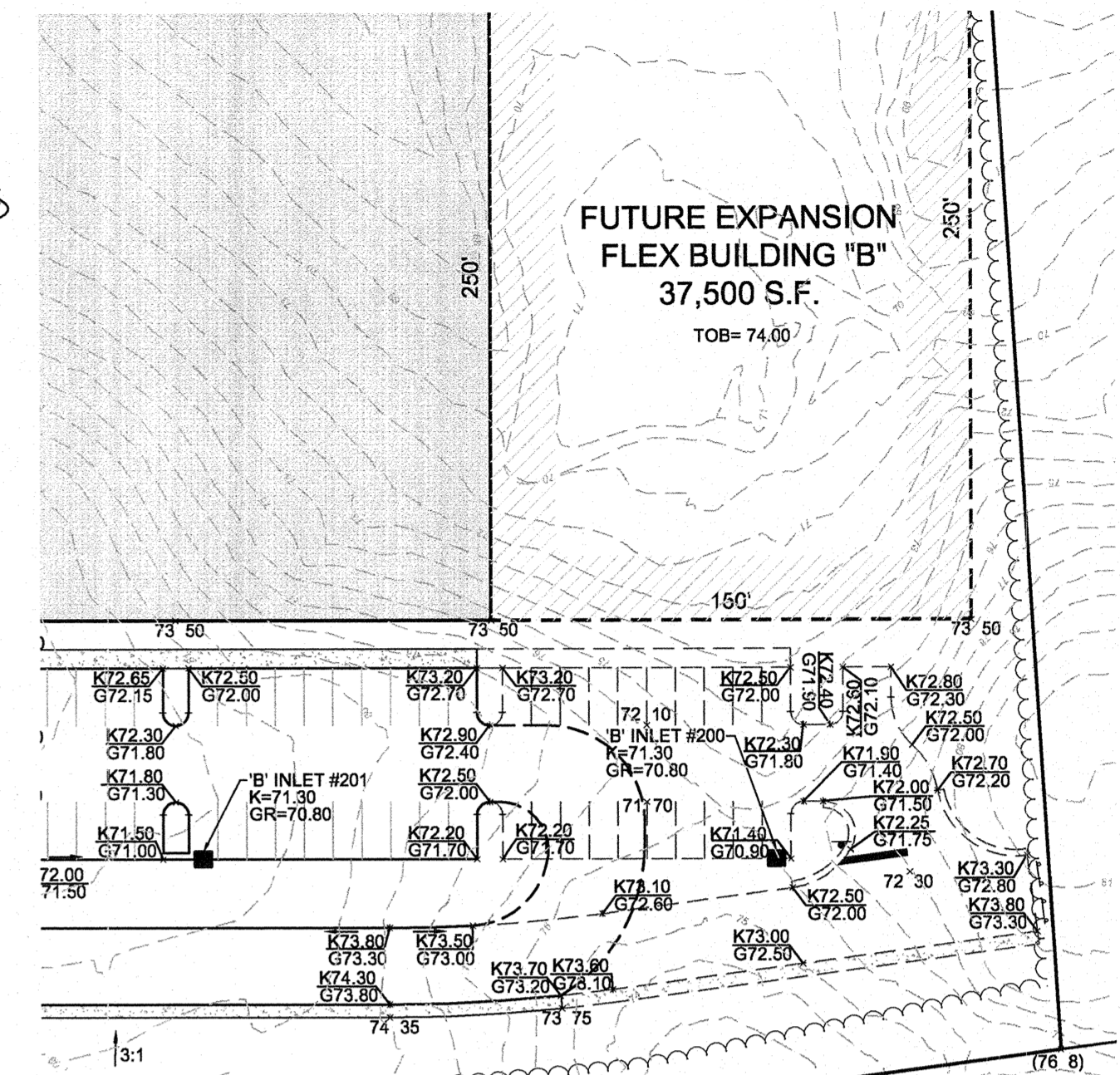
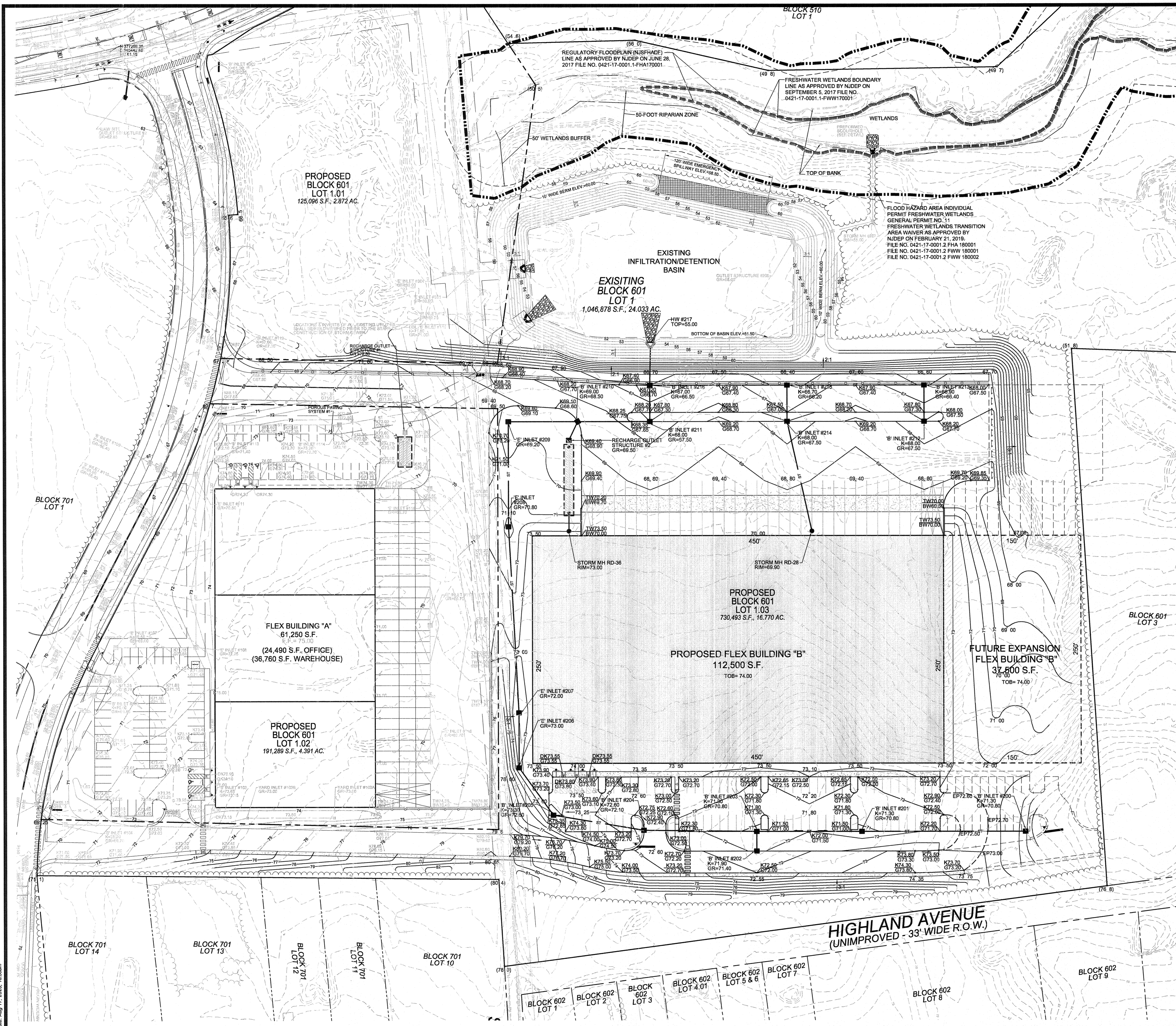
IN GENERAL, THE VERTICAL DESIGN OF PROPOSED GRAVITY UTILITIES, AS SHOWN, ARE INFLUENCED BY THE EXISTING GRAVITY UTILITIES ONLY, WHICH MAY NECESSITATE THE RELOCATIONS OF OTHER UTILITIES.

UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE, AND BASED ON EXISTING INFORMATION RECEIVED FROM UTILITY COMPANIES.



SITE PLAN	
WOODCREST STATION BUSINESS PARK	
101 WALTER A. GAINES WAY PLATE 7.01, BLOCK 601, LOT 1 BLOCK 601, LOTS 1.01, 1.02, & 1.03 BOROUGH OF LAWNESIDE, CAMDEN COUNTY, NJ	
Taylor Wiseman & Taylor	
ENGINEERS / SURVEYORS / SCIENTISTS 124 Gather Drive, Suite 150, Mt Laurel, NJ 08054 TELEPHONE: (856) 235-7200 FAX: (856) 722-8250 www.taylorwiseman.com NJ CERTIFICATE OF AUTHORIZATION NO. 24GA28032900	
DESIGNED: WAK	CHECKED: EPB
DATE SKETCHED: 8-17-20	NO. DATE
EDWARD P. BRADY	
<i>Edward P. Brady</i>	
N.J. PROFESSIONAL ENGINEER NO. 24EG03283600	SCALE: 1"=50'
DATE: 8/17/2020	DRAWING NO. 2020-17854-WARESP2
SHEET: 3	OF 13

Date: Aug 17, 2020, 10:48am



GRADING NOTES:

- ALL CONSTRUCTION MATERIALS, METHODS OF INSTALLATION AND TEST SHALL BE SUBJECT TO THE APPROVAL OF THE MUNICIPALITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MARKOUT OF ALL EXISTING UTILITIES.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INDIVIDUALLY AND SHALL NOTIFY THE UNDERGROUND UTILITIES NOTIFICATION SERVICE AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY EXCAVATION BY CALLING 1-800-272-1000.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL INSTALL SOIL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED PLANS AND PROVIDE 72 HOUR NOTICE TO THE CAMDEN COUNTY CONSERVATION DISTRICT.
- THE CONTRACTOR SHALL NOT PLACE ANY MATERIAL OR DISTURB ANY SOIL WITHIN FIVE FEET (5') OF THE ADJOINING PROPERTY LINES OR RIGHT OF WAY. IF TEMPORARY STORAGE OF MATERIAL IS TO BE PLACED OUTSIDE OF THE PROPERTY, WRITTEN PERMISSION OF PROPERTY OWNER DIRECTLY INVOLVED SHALL BE OBTAINED.
- THERE SHALL BE NO CLEARING BEYOND THE CLEARING LIMITS SHOWN ON THE PLANS AND THESE LIMITS SHALL BE STAKED IN THE FIELD PRIOR TO ANY CLEARING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING, GRUBBING, PAVING, TOPSOILING, FERTILIZING AND SEEDING OR OTHERWISE RESTORING ALL AREAS DISTURBED BY HIS/HER ACTIVITIES. ROAD PAVEMENT REPLACEMENT AND ALL RESTORATION IN ROADS SHALL MEET THE REQUIREMENTS OF THE BOROUGH ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE ACROSS ALL PROPOSED IMPROVEMENTS, WITH A MINIMUM SLOPE OF 0.50% ALONG CURBING AND ACROSS PAVING.
- A MINIMUM SLOPE OF 1.5% AND A MAXIMUM SLOPE OF 3:1 (H:V) SHALL BE PROVIDED IN ALL UNPAVED TRANSITION GRADING AREAS, UNLESS NOTED OTHERWISE.
- PROPOSED FILL MATERIAL SHALL BE PLACED IN 8-INCH LIFTS AND COMPACTED TO 95% MAXIMUM DRY DENSITY, AS DETERMINED BY PROCTOR TESTING OF FILL MATERIAL. PLACEMENT OF FILL MATERIAL SHOULD BE OVERSEEN AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER.
- ALL PAVEMENT SUBGRADE PREPARATION MUST BE APPROVED BY THE BOROUGH ENGINEER.
- GRADING FOR ALL SERVICE WALKS WILL BE ADDED ONCE ARCHITECTURAL PLANS ARE COMPLETED.
- THE OWNER OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.1(b) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.321(OSHA COMPETENT PERSON).

INFILTRATION/DETENTION BASIN SUMMARY TABLE

STORM FREQUENCY	MAX. WATER ELEVATION (FT.)
2-YEAR	52.75
10-YEAR	54.98
25-YEAR	55.98
100-YEAR	56.73
	58.43

WATER QUALITY

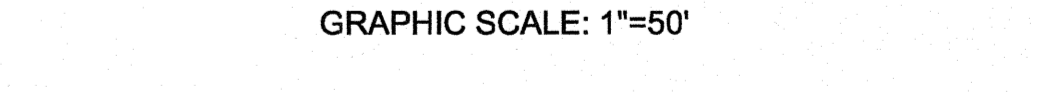
2-YEAR	52.75
10-YEAR	54.98
25-YEAR	55.98
100-YEAR	56.73
	58.43

THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING STRUCTURES AND UTILITIES, WHICH HE DEEMS NECESSARY, BOTH ABOVE AND BELOW THE GROUND SURFACE BEFORE HEAVY EQUIPMENT ENTERS THE CONSTRUCTION SITE.

FINAL INQUIRIES TO "UNDERGROUND UTILITIES" (PHONE # 1-800-272-1000) SHALL BE MADE BY THE CONTRACTOR AND/OR OWNER WITHIN SEVEN (7) DAYS OF ENTERING THE SITE. THE CONTRACTOR AND/OR OWNER SHALL COORDINATE AND VERIFY THE METHOD OF UTILITY LOCATION WITH THE APPROPRIATE UTILITY COMPANIES.

IN GENERAL, THE VERTICAL DESIGN OF PROPOSED GRAVITY UTILITIES, AS SHOWN, ARE GOVERNED BY THE EXISTING GRAVITY UTILITIES ONLY, WHICH MAY NECESSITATE THE RELOCATIONS OF OTHER UTILITIES.

UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE, AND BASED ON EXISTING INFORMATION RECEIVED FROM UTILITY COMPANIES.



DESIGNED: VAK
DRAWN: AMH
CHECKED: EPE
DATE SIGNED: 8-17-20

EDWARD P. BRADY

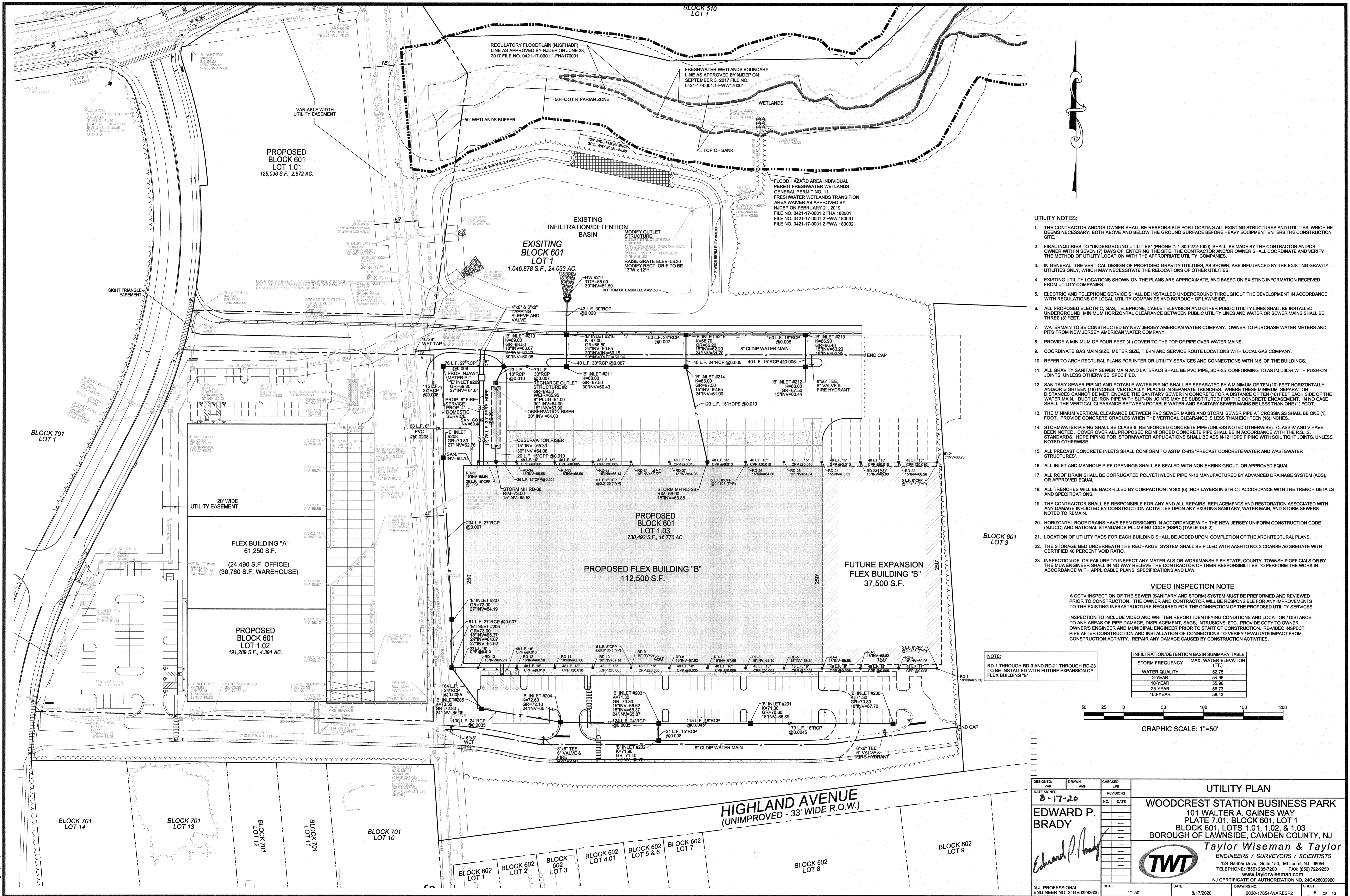
GRADING PLAN

WOODCREST STATION BUSINESS PARK
101 WALTER A. GAINES WAY
BLOCK 601, LOTS 1.01, 1.02, & 1.03
BOROUGH OF LAWNSIDE, CAMDEN COUNTY, NJ

Taylor Wiseman & Taylor
ENGINEERS / SURVEYORS / SCIENTISTS
124 Galther Drive, Suite 150, Mt Laurel, NJ 08054
TELEPHONE: (856) 235-7200 FAX: (856) 722-9250
www.taylorwiseman.com
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA28032800

N.J. PROFESSIONAL ENGINEER NO. 24GE03283600

SCALE: 1"=50'
DATE: 8/17/2020
DRAWING NO.: 2020-17854-WARES2
SHEET: 4 OF 13



- UTILITY NOTES:**
1. THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING STRUCTURES AND UTILITIES, WHICH HE DEEMS NECESSARY, BOTH ABOVE AND BELOW THE GROUND SURFACE BEFORE HEAVY EQUIPMENT ENTERS THE CONSTRUCTION SITE.
 2. FINAL INQUIRIES TO "UNDERGROUND UTILITIES" (PHONE #: 1-800-272-1000) SHALL BE MADE BY THE CONTRACTOR AND/OR OWNER WITHIN SEVEN (7) DAYS OF ENTERING THE SITE. THE CONTRACTOR AND/OR OWNER SHALL COORDINATE AND VERIFY THE METHOD OF UTILITY LOCATION WITH THE APPROPRIATE UTILITY COMPANIES.
 3. IN GENERAL, THE VERTICAL DESIGN OF PROPOSED GRAVITY UTILITIES, AS SHOWN, ARE INFLUENCED BY THE EXISTING GRAVITY UTILITIES ONLY, WHICH MAY NECESSITATE THE RELOCATIONS OF OTHER UTILITIES.
 4. EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE, AND BASED ON EXISTING INFORMATION RECEIVED FROM UTILITY COMPANIES.
 5. ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND THROUGHOUT THE DEVELOPMENT IN ACCORDANCE WITH REGULATIONS OF LOCAL UTILITY COMPANIES AND BOROUGHS OF LAWNSIDE.
 6. ALL PROPOSED ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION AND OTHER PUBLIC UTILITY LINES SHALL BE INSTALLED UNDERGROUND, MINIMUM HORIZONTAL CLEARANCE BETWEEN PUBLIC UTILITY LINES AND WATER OR SEWER MAINS SHALL BE THREE (3) FEET.
 7. WATERMAIN TO BE CONSTRUCTED BY NEW JERSEY AMERICAN WATER COMPANY. OWNER TO PURCHASE WATER METERS AND FITS FROM NEW JERSEY AMERICAN WATER COMPANY.
 8. PROVIDE A MINIMUM OF FOUR FEET (4') COVER TO THE TOP OF PIPE OVER WATER MAINS.
 9. COORDINATE GAS MAIN SIZE, METER SIZE, TIE-IN AND SERVICE ROUTE LOCATIONS WITH LOCAL GAS COMPANY.
 10. REFER TO ARCHITECTURAL PLANS FOR INTERIOR UTILITY SERVICES AND CONNECTIONS WITHIN 5' OF THE BUILDINGS.
 11. ALL GRAVITY SANITARY SEWER MAIN AND LATERALS SHALL BE PVC PIPE, SDR-35 CONFORMING TO ASTM D3034 WITH PUSH-ON JOINTS, UNLESS OTHERWISE SPECIFIED.
 12. SANITARY SEWER PIPING AND POTABLE WATER PIPING SHALL BE SEPARATED BY A MINIMUM OF TEN (10) FEET HORIZONTALLY AND/OR EIGHTEEN (18) INCHES VERTICALLY PLACED IN SEPARATE TRENCHES. WHERE THESE MINIMUM SEPARATION DISTANCES CANNOT BE MET, ENCASE THE SANITARY SEWER IN CONCRETE FOR A DISTANCE OF TEN (10) FEET EACH SIDE OF THE WATER MAIN. DUE TO PIPE WITH SLIP-ON JOINTS MAY BE SUBSTITUTED FOR THE CONCRETE ENCASEMENT. IN NO CASE SHALL THE VERTICAL CLEARANCE BETWEEN POTABLE WATER AND SANITARY SEWER MAINS BE LESS THAN ONE (1) FOOT.
 13. THE MINIMUM VERTICAL CLEARANCE BETWEEN PVC SEWER MAINS AND STORM SEWER PIPE AT CROSSINGS SHALL BE ONE (1) FOOT. PROVIDE CONCRETE CRADLES WHEN THE VERTICAL CLEARANCE IS LESS THAN EIGHTEEN (18) INCHES.
 14. STORMWATER PIPING SHALL BE CLASS III REINFORCED CONCRETE PIPE (UNLESS NOTED OTHERWISE). CLASS IV AND V HAVE BEEN NOTED. COVER OVER ALL PROPOSED REINFORCED CONCRETE PIPE SHALL BE IN ACCORDANCE WITH THE R.S.I.S. STANDARDS. HOPE PIPING FOR STORMWATER APPLICATIONS SHALL BE ADS N-12 HDPE PIPING WITH SOIL TIGHT JOINTS, UNLESS OTHERWISE NOTED.
 15. ALL PRECAST CONCRETE INLETS SHALL CONFORM TO ASTM C-913 PRECAST CONCRETE WATER AND WASTEWATER STRUCTURES.
 16. ALL INLET AND MANHOLE PIPE OPENINGS SHALL BE SEALED WITH NON-SHRINK GROUT, OR APPROVED EQUAL.
 17. ALL ROOF DRAIN SHALL BE CORRUGATED POLYETHYLENE PIPE N-12 MANUFACTURED BY ADVANCED DRAINAGE SYSTEM (ADS), OR APPROVED EQUAL.
 18. ALL TRENCHES WILL BE BACKFILLED BY COMPACTION IN SIX (6) INCH LAYERS IN STRICT ACCORDANCE WITH THE TRENCH DETAILS AND SPECIFICATIONS.
 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL REPAIRS, REPLACEMENTS AND RESTORATION ASSOCIATED WITH ANY DAMAGE INFLICTED BY CONSTRUCTION ACTIVITIES UPON ANY EXISTING SANITARY, WATER MAIN, AND STORM SEWERS NOTED TO REMAIN.
 20. HORIZONTAL ROOF DRAINS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE NEW JERSEY UNIFORM CONSTRUCTION CODE (NUCC) AND NATIONAL STANDARDS PLUMBING CODE (NSPC) (TABLE 13.6.2).
 21. LOCATION OF UTILITY PADS FOR EACH BUILDING SHALL BE ADDED UPON COMPLETION OF THE ARCHITECTURAL PLANS.
 22. THE STORAGE BED UNDERNEATH THE RECHARGE SYSTEM SHALL BE FILLED WITH AASHTO NO. 2 COARSE AGGREGATE WITH CERTIFIED 40 PERCENT VOID RATIO.
 23. INSPECTION OF, OR FAILURE TO INSPECT ANY MATERIALS OR WORKMANSHIP BY STATE, COUNTY, TOWNSHIP OFFICIALS OR BY THE MUA ENGINEER SHALL IN NO WAY RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITIES TO PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS AND LAW.

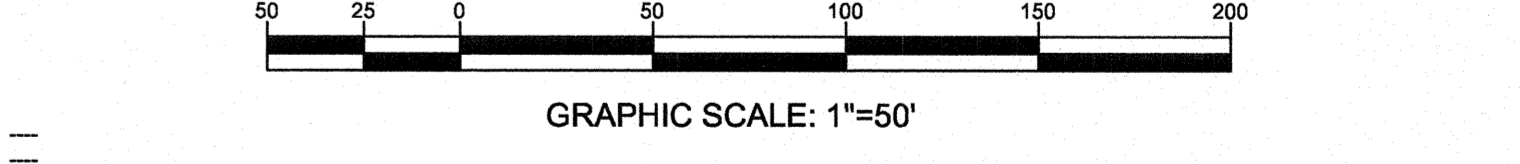
VIDEO INSPECTION NOTE

A CCTV INSPECTION OF THE SEWER (SANITARY AND STORM) SYSTEM MUST BE PERFORMED AND REVIEWED PRIOR TO CONSTRUCTION. THE OWNER AND CONTRACTOR WILL BE RESPONSIBLE FOR ANY IMPROVEMENTS TO THE EXISTING INFRASTRUCTURE REQUIRED FOR THE CONNECTION OF THE PROPOSED UTILITY SERVICES.

INSPECTION TO INCLUDE VIDEO AND WRITTEN REPORT IDENTIFYING CONDITIONS AND LOCATION / DISTANCE TO ANY AREAS OF PIPE DAMAGE, DISPLACEMENT, SAGS, INTRUSIONS, ETC. PROVIDE COPY TO OWNER, OWNER'S ENGINEER AND MUNICIPAL ENGINEER PRIOR TO START OF CONSTRUCTION. RE-VIDEO INSPECT PIPE AFTER CONSTRUCTION AND INSTALLATION OF CONNECTIONS TO VERIFY / EVALUATE IMPACT FROM CONSTRUCTION ACTIVITY. REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES.

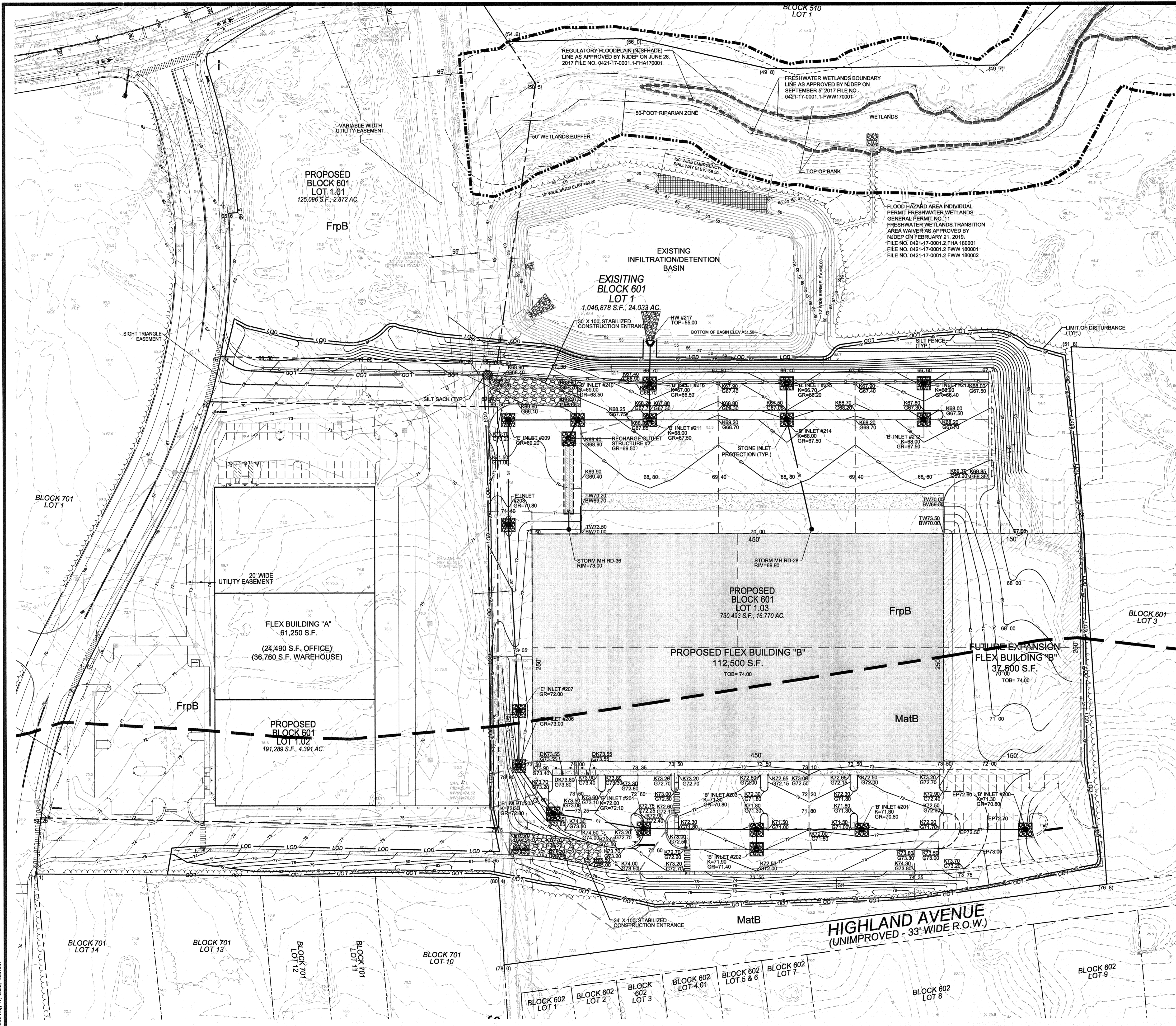
NOTE: RD-1 THROUGH RD-3 AND RD-21 THROUGH RD-23 TO BE INSTALLED WITH FUTURE EXPANSION OF FLEX BUILDING "B"

INFILTRATION/DETENTION BASIN SUMMARY TABLE	
STORM FREQUENCY	MAX. WATER ELEVATION (FT.)
WATER QUALITY	52.75
2-YEAR	54.96
10-YEAR	55.96
25-YEAR	56.73
100-YEAR	58.43



DESIGNED: VAK	DRAWN: AMH	CHECKED: EFB	UTILITY PLAN	
DATE SIGNED: 8-17-20	NO. DATE	REVISIONS		
EDWARD P. BRADY			WOODCREST STATION BUSINESS PARK 101 WALTER A. GAINES WAY PLATE 7.01, BLOCK 601, LOT 1 BLOCK 601, LOTS 1.01, 1.02, & 1.03 BOROUGH OF LAWNSIDE, CAMDEN COUNTY, NJ	
Taylor Wiseman & Taylor			Taylor Wiseman & Taylor ENGINEERS / SURVEYORS / SCIENTISTS 124 Gather Drive, Suite 150, Mt Laurel, NJ 08054 TELEPHONE: (856) 235-7200 FAX: (856) 722-9250 www.taylorwiseman.com NJ CERTIFICATE OF AUTHORIZATION NO. 24GA28032900	
N.J. PROFESSIONAL ENGINEER NO. 24CE03283000	SCALE: 1"=50'	DATE: 8/17/2020	DRAWING NO. 2020-17854-WARESP2	SHEET: 5 OF 13

Date: Aug 17, 2020, 11:28am



- SOIL EROSION LEGEND**
- SILT FENCE
 - REINFORCED SILT FENCE
 - STONE INLET PROTECTION
 - SILT SACK INLET PROTECTION
 - DRAINAGE AREA LINE
 - LIMIT OF DISTURBANCE (TYP.)
 - SOIL TYPE LIMIT
 - STABILIZED CONSTRUCTION ENTRANCE
 - TEMPORARY RISER
- SOILS LEGEND**
- FrpB FREEHOLD - DOWNER - URBAN LAND COMPLEX, 0 TO 5 PERCENT SLOPES.
 - MatB MARLTON-KRESSON-URBAN LAND COMPLEX, 0 TO 5 PERCENT SLOPES

- GENERAL NOTES:**
- THIS PLAN IS TO BE USED FOR SOIL EROSION, SEDIMENT CONTROL AND DRAINAGE AREA PURPOSES ONLY.
 - INLET SILT SACKS ARE TO BE USED AS A MEASURE OF INLET PROTECTION ON EXISTING INLETS IN PLACE DURING PHASE 1 CONSTRUCTION AT LOCATIONS SHOWN ON THIS PLAN AND RECOMMENDED BY THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT.
 - IMMEDIATELY PRIOR TO TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
 - NJSA 4-24-39 ET SEQ. REQUIRES THAT NO CERTIFICATION OF OCCUPANCY BE ISSUED BEFORE THE COMPLETION OF A SOIL COMPACTION MITIGATION VERIFICATION FORM AND CONFIRMATION BY THE CAMDEN COUNTY SOIL DISTRICT INSPECTOR THAT THE COMPACTION MITIGATION REQUIREMENTS IN THE STANDARDS FOR LAND GRADING HAVE BEEN SUFFICIENTLY ADDRESSED.
 - ALL NECESSARY EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED FOR OFF-SITE WORK IF NECESSARY.
 - PHASE 2 DEVELOPMENT WILL HAVE A TOTAL LAND DISTURBANCE OF 413,756 S.F. OR 9.5 ACRES.

- CONSTRUCTION ENTRANCE NOTES:**
- STONE SIZE SHALL BE ASTM C-33 SIZE NO. 21/25" TO 1.5" OR NO. 3/2" TO 1".
 - THICKNESS SHALL BE 12" THICK WITH FILTER FABRIC.
 - BOTTOM OF STONE BED TO BE WRAPPED IN HIGH PERMITTIVITY NON-WOVEN GEOTEXTILE FILTER FABRIC AND SHOULD BE MACCAFERRERI MACTEX MX275 OR APPROVED EQUAL.

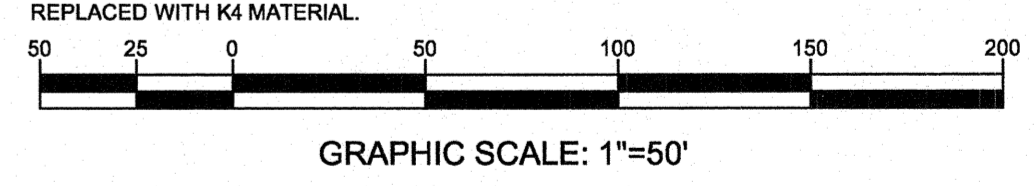
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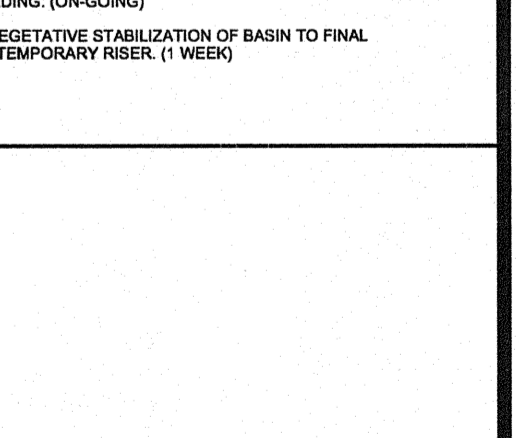
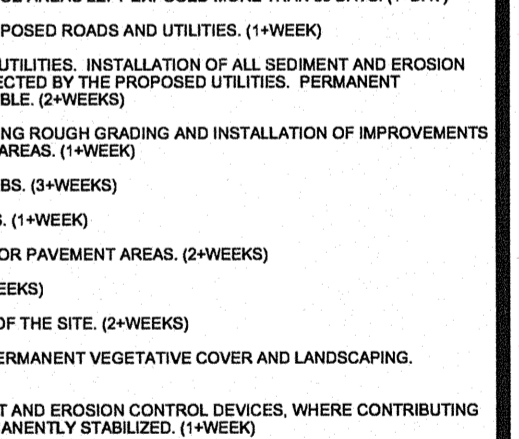
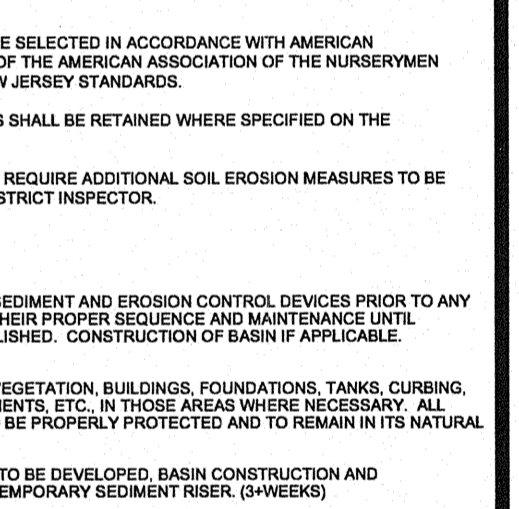
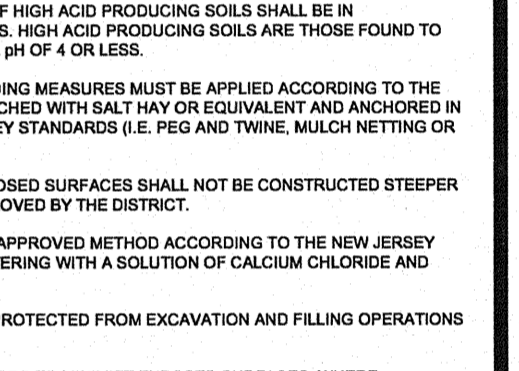
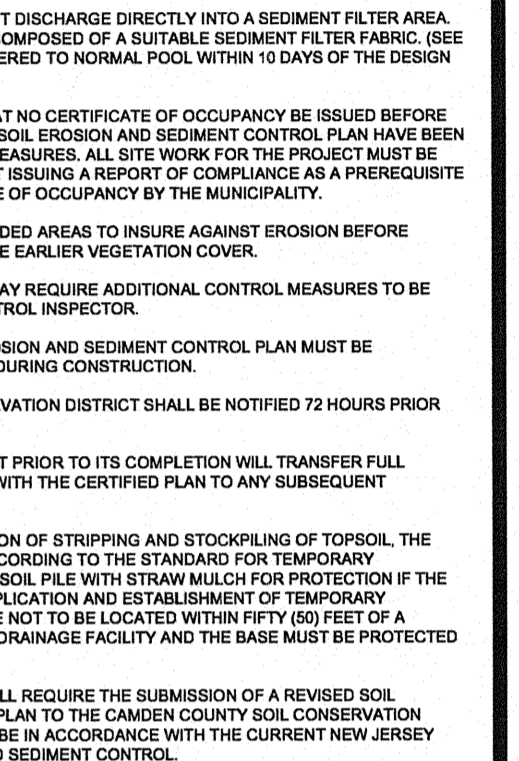
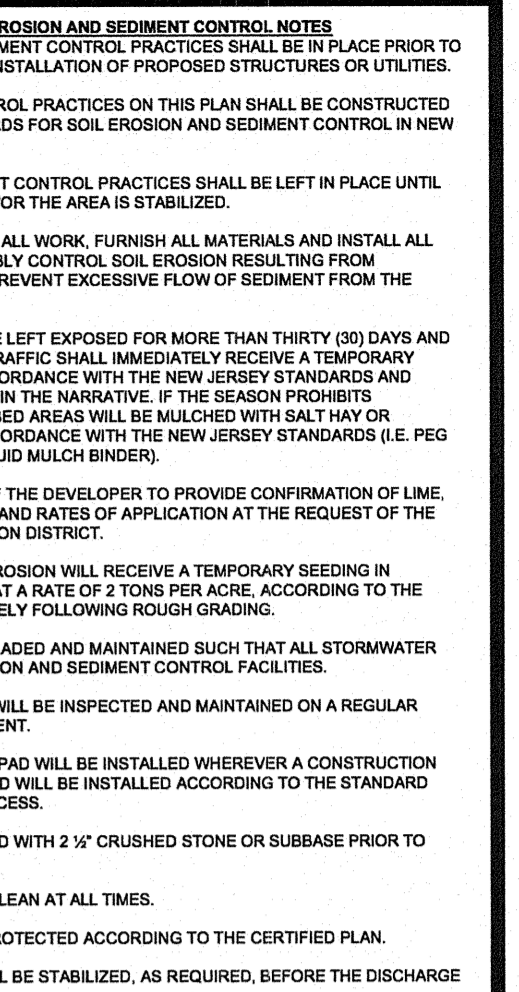
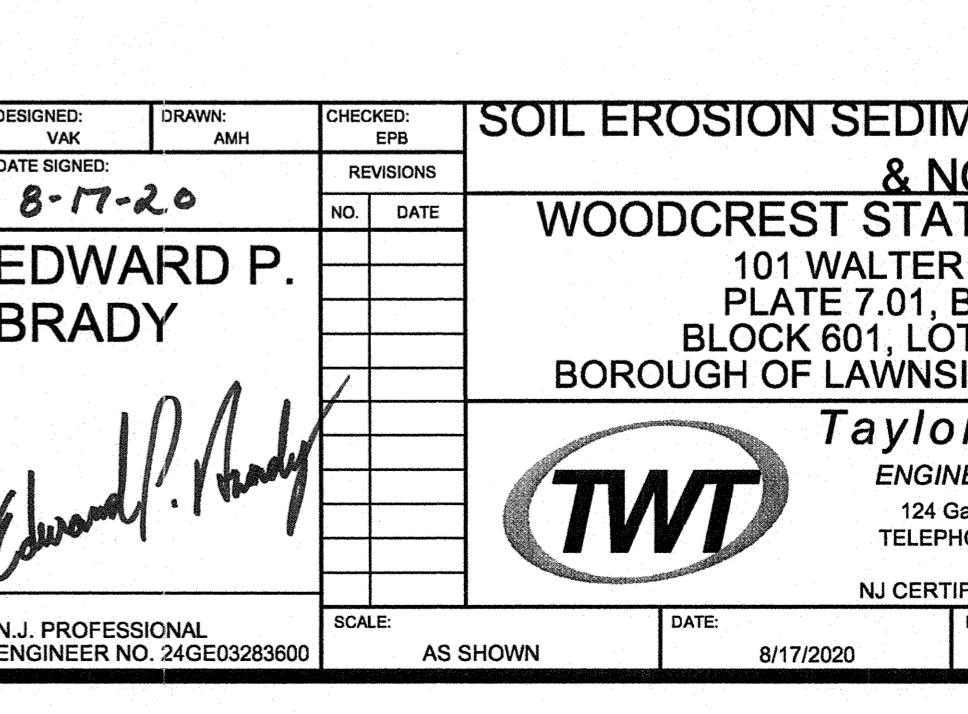
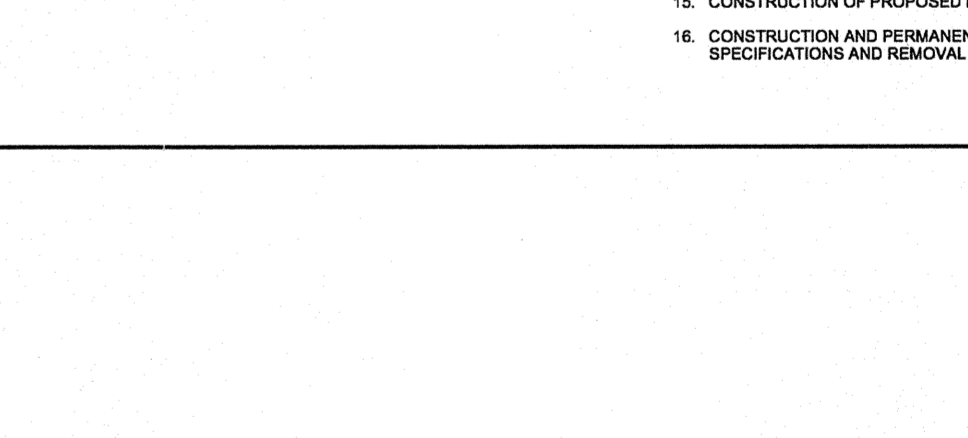
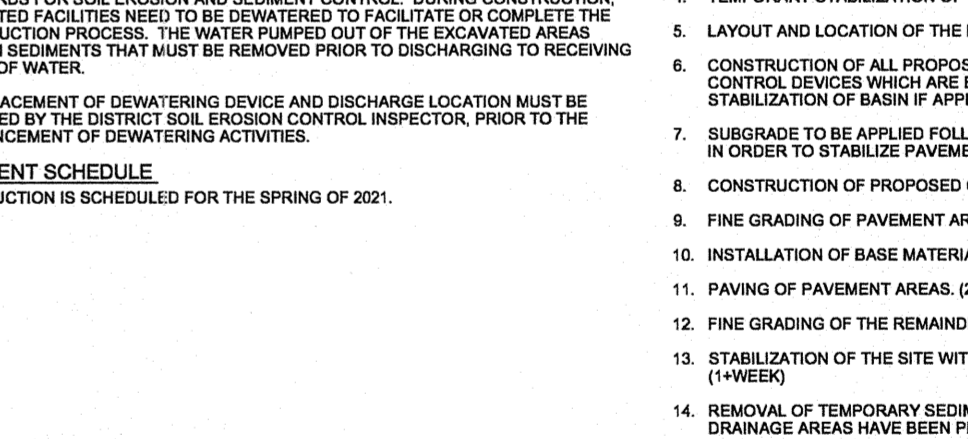
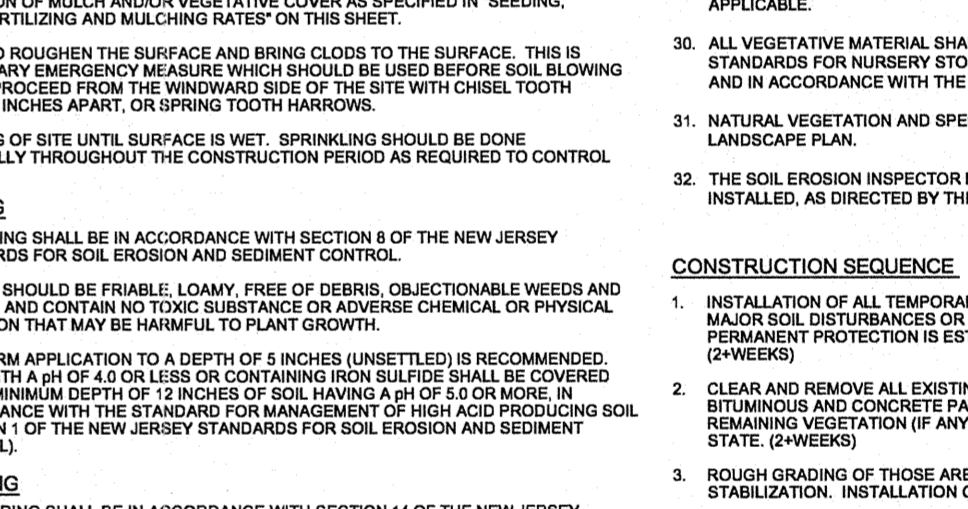
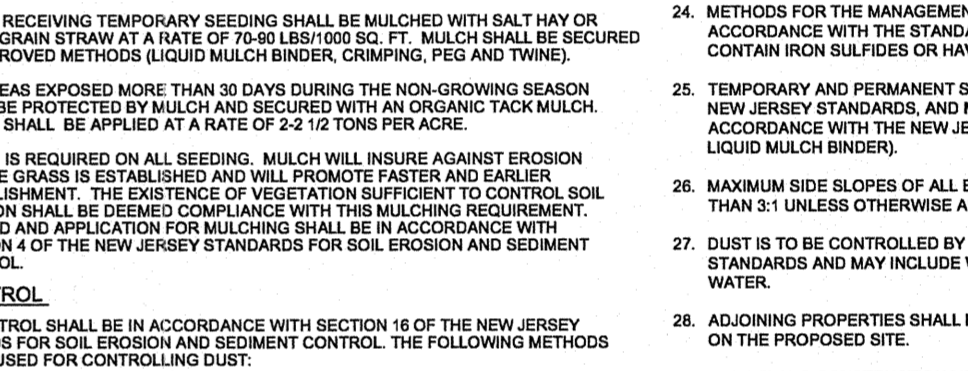
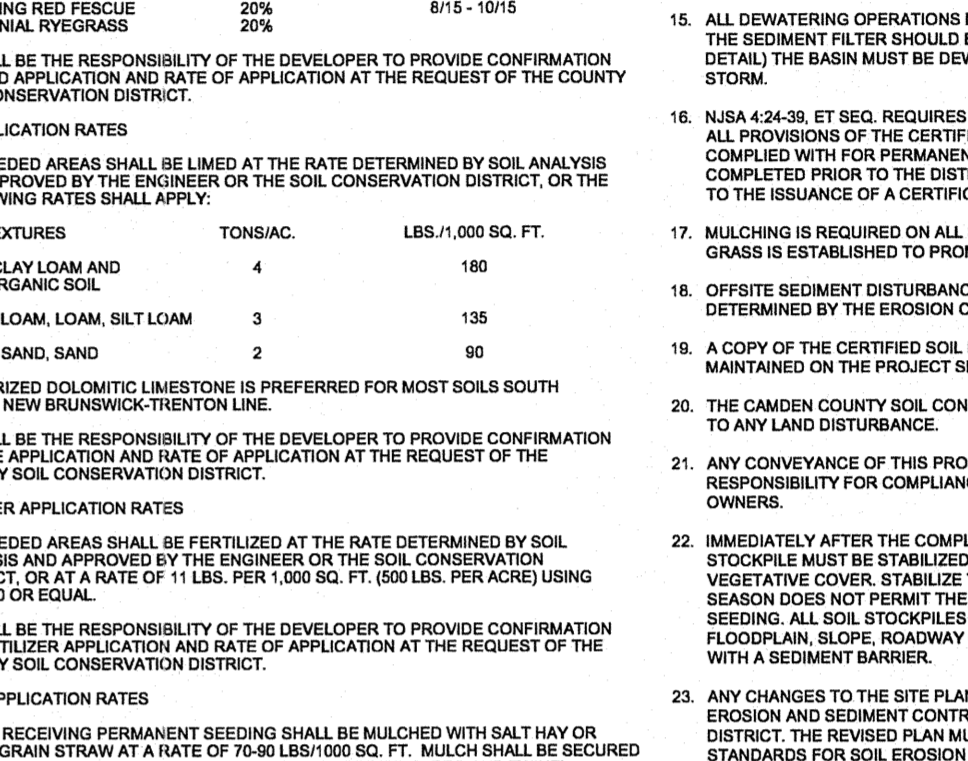
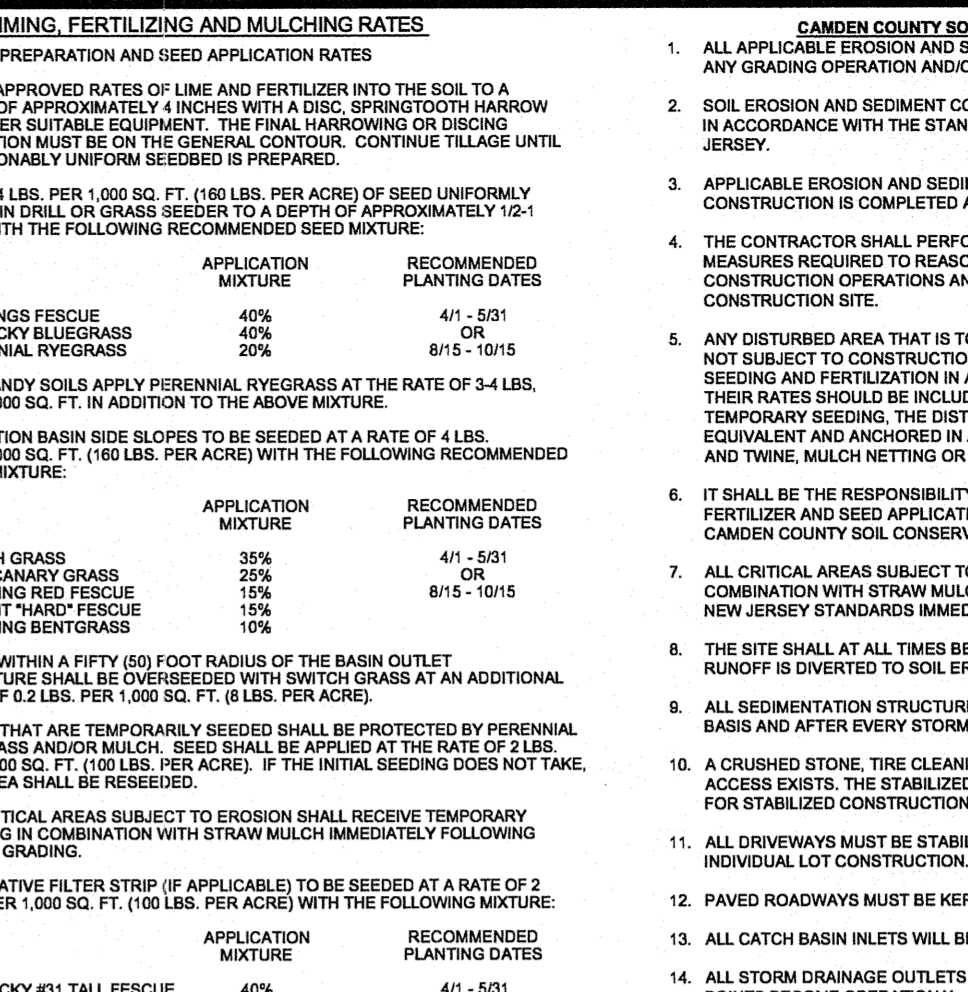
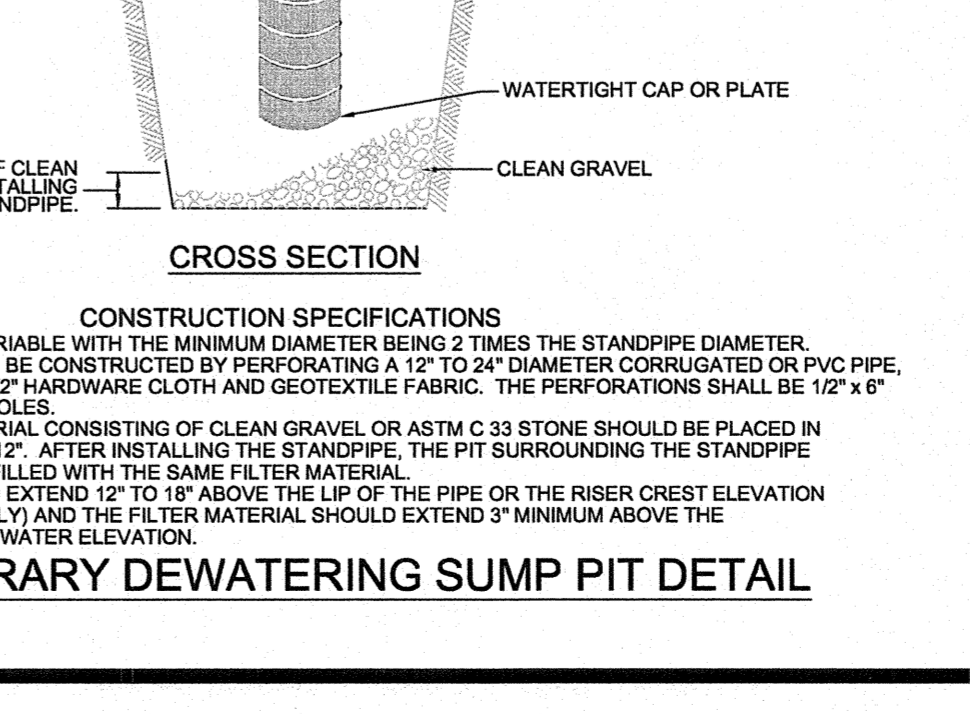
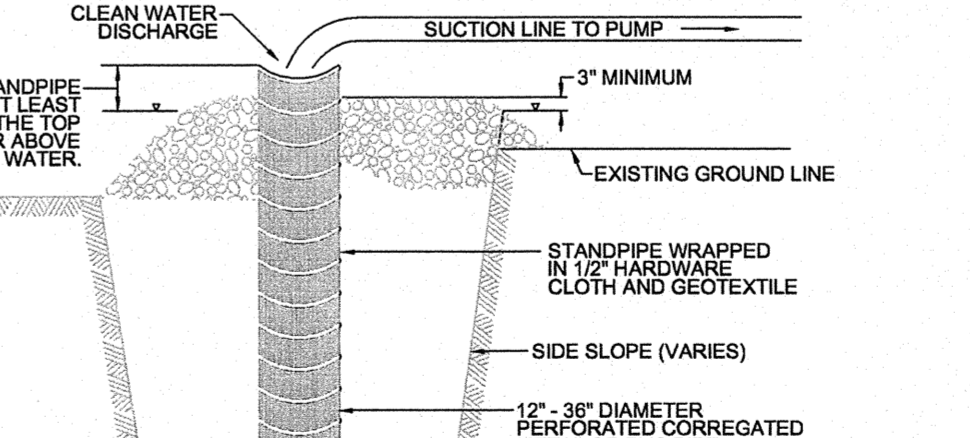
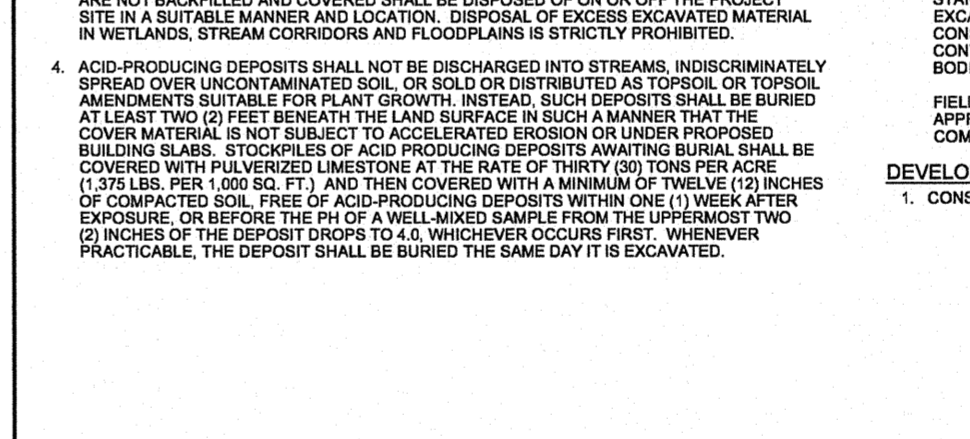
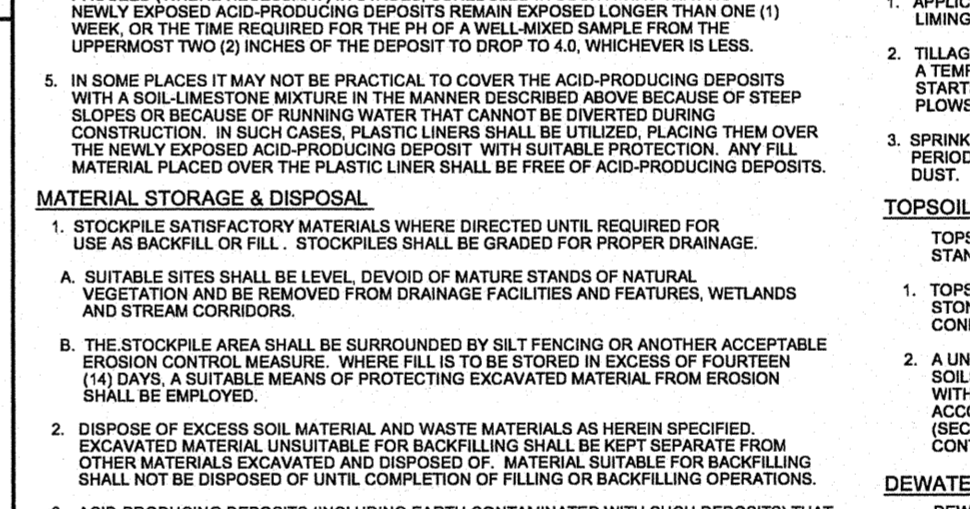
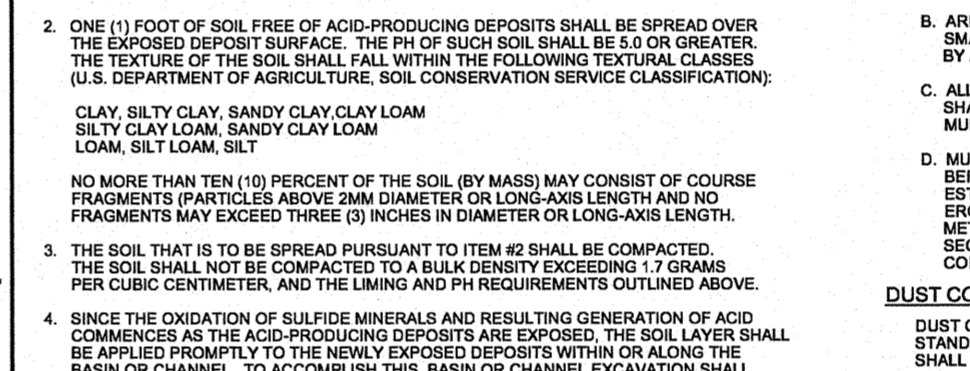
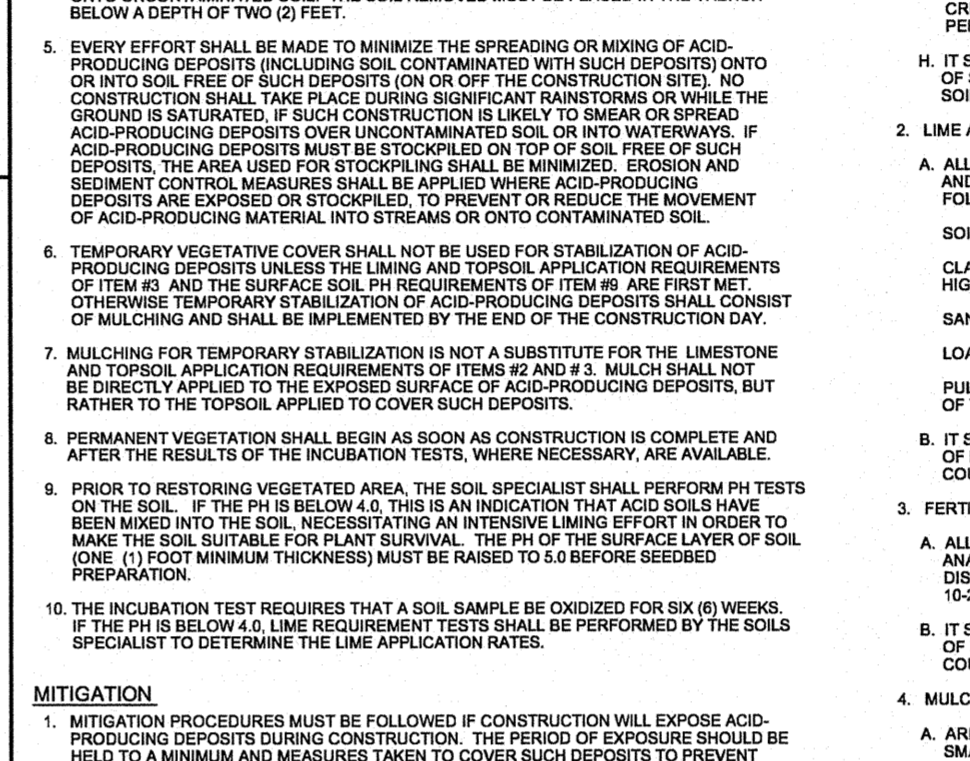
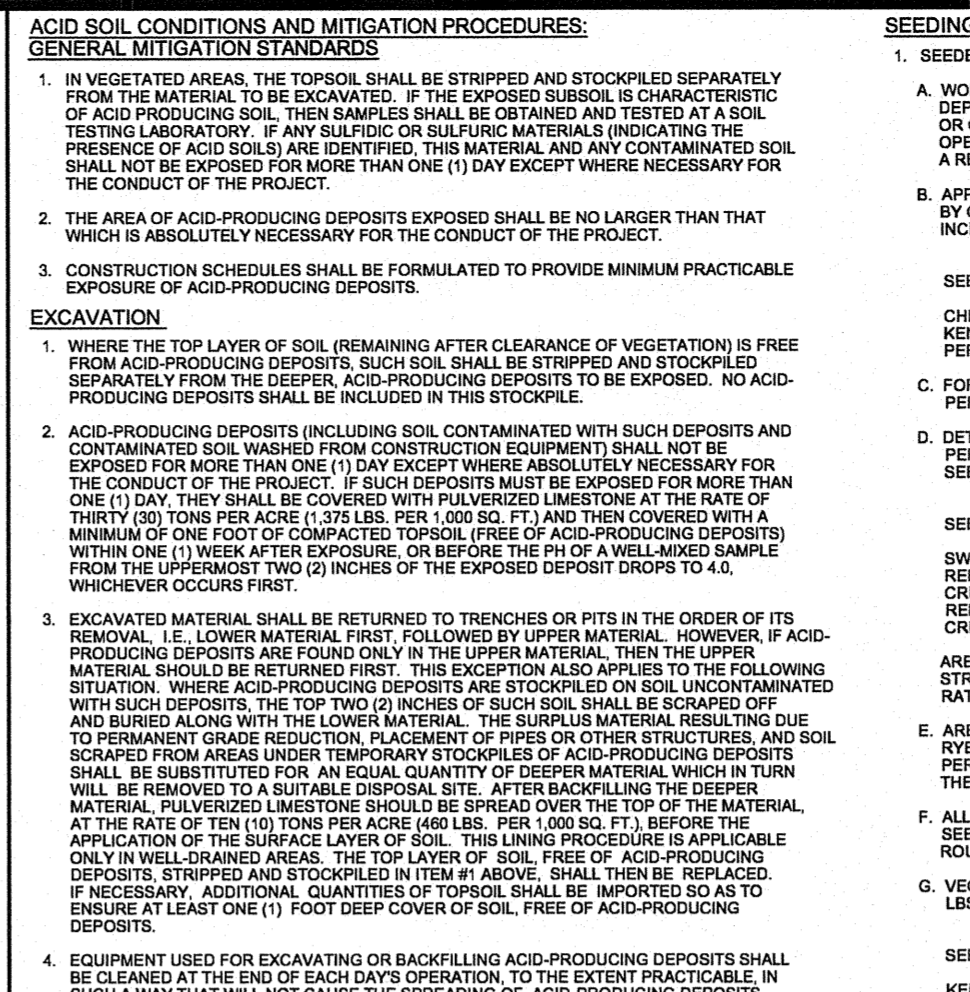
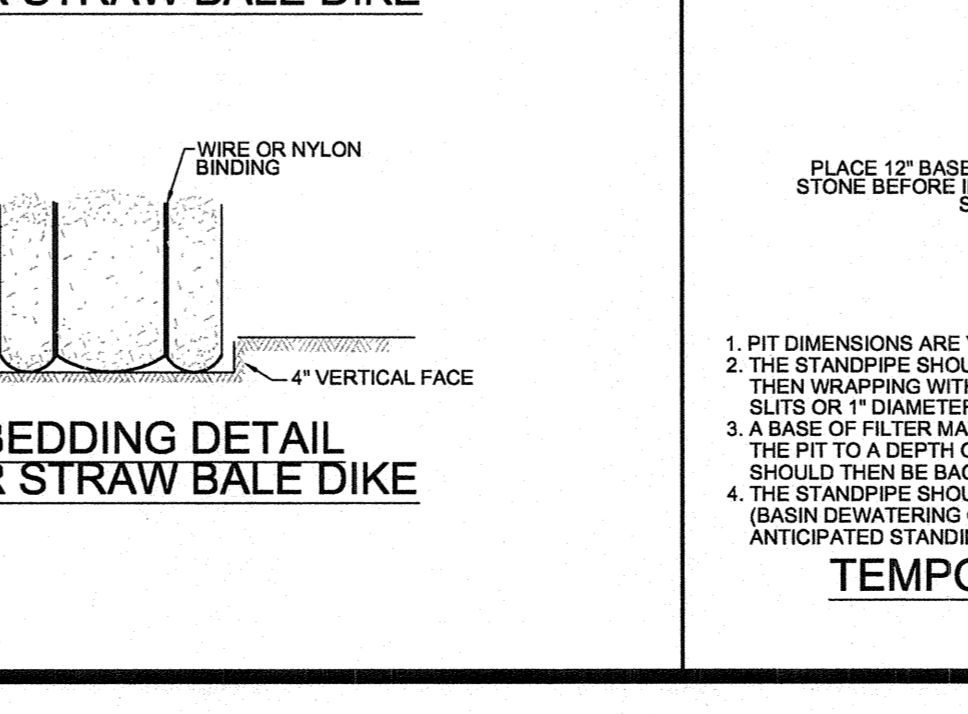
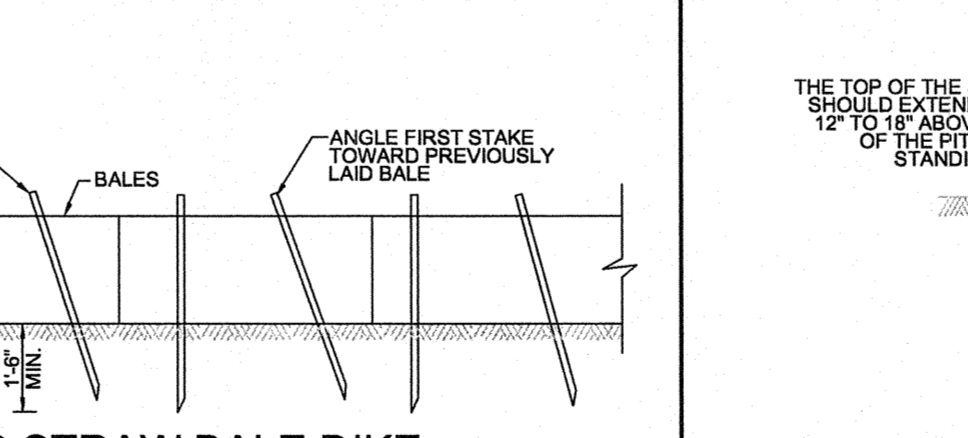
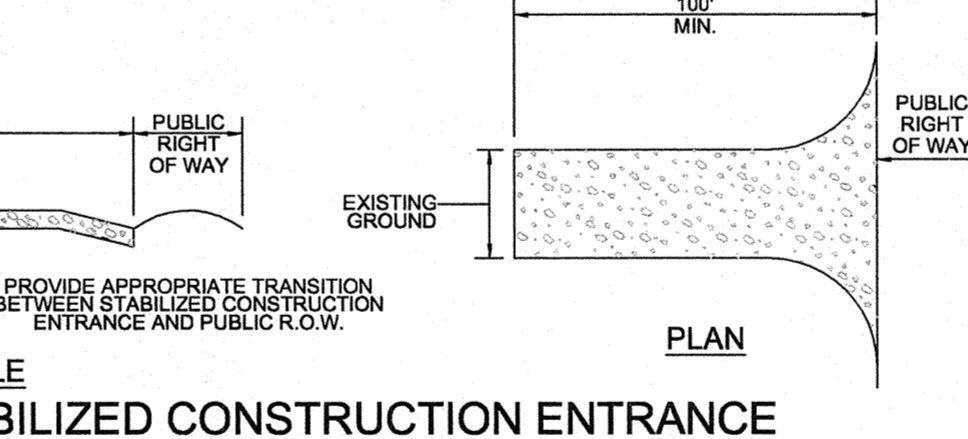
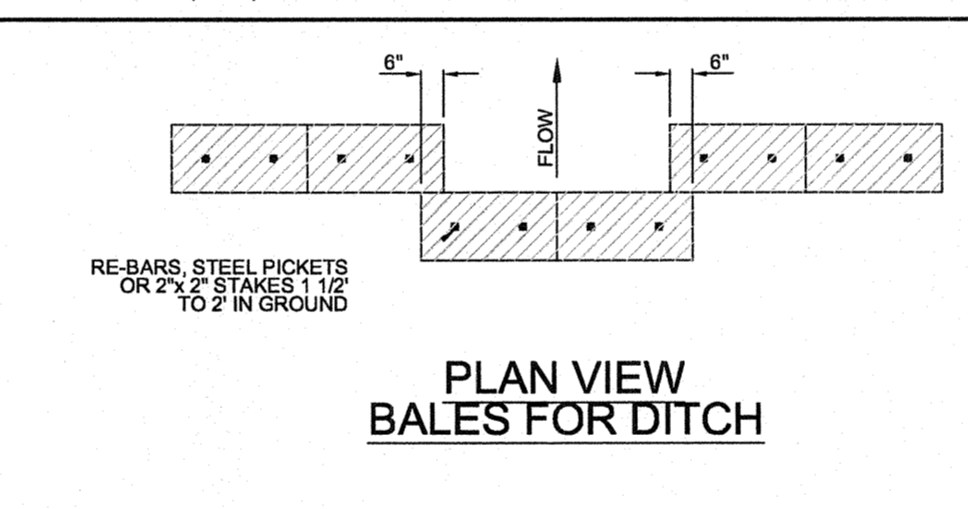
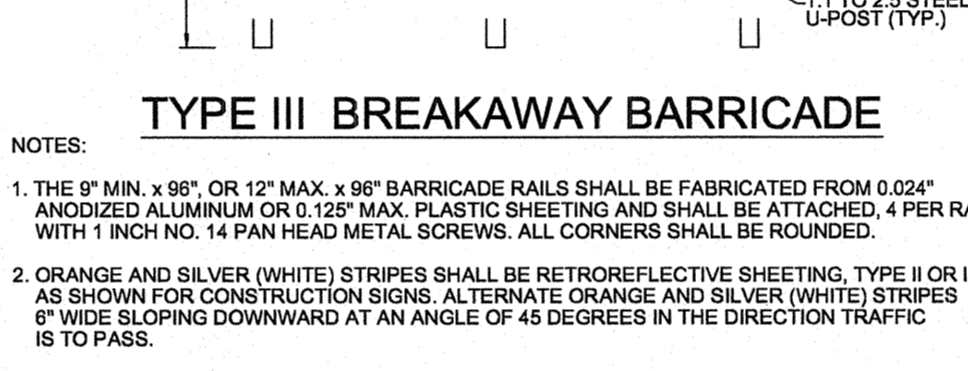
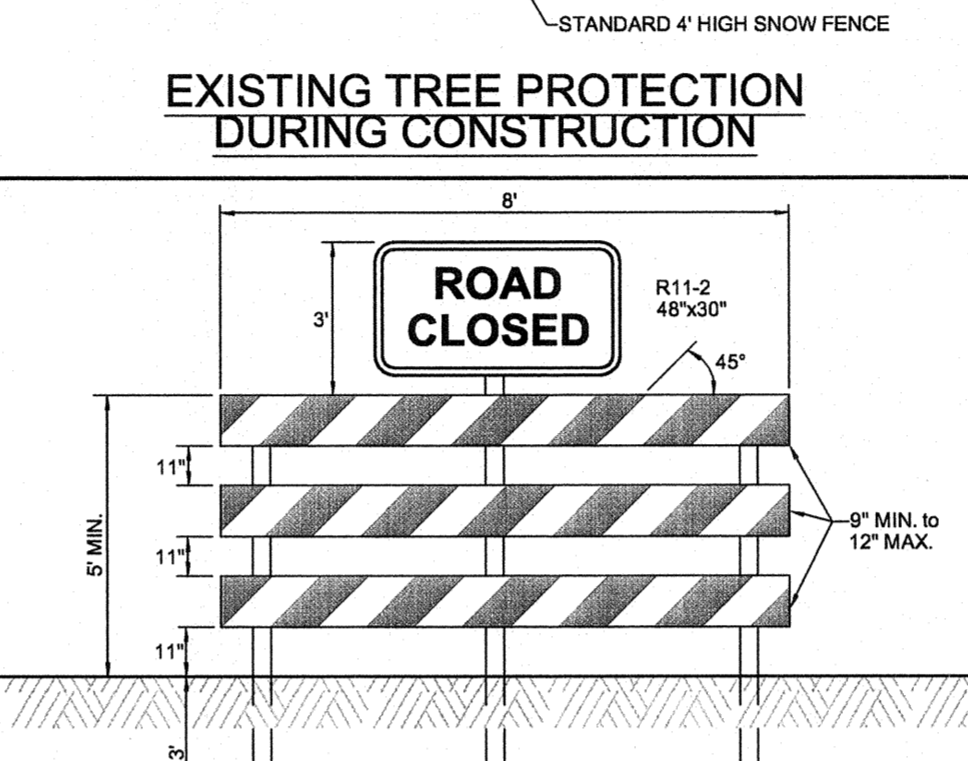
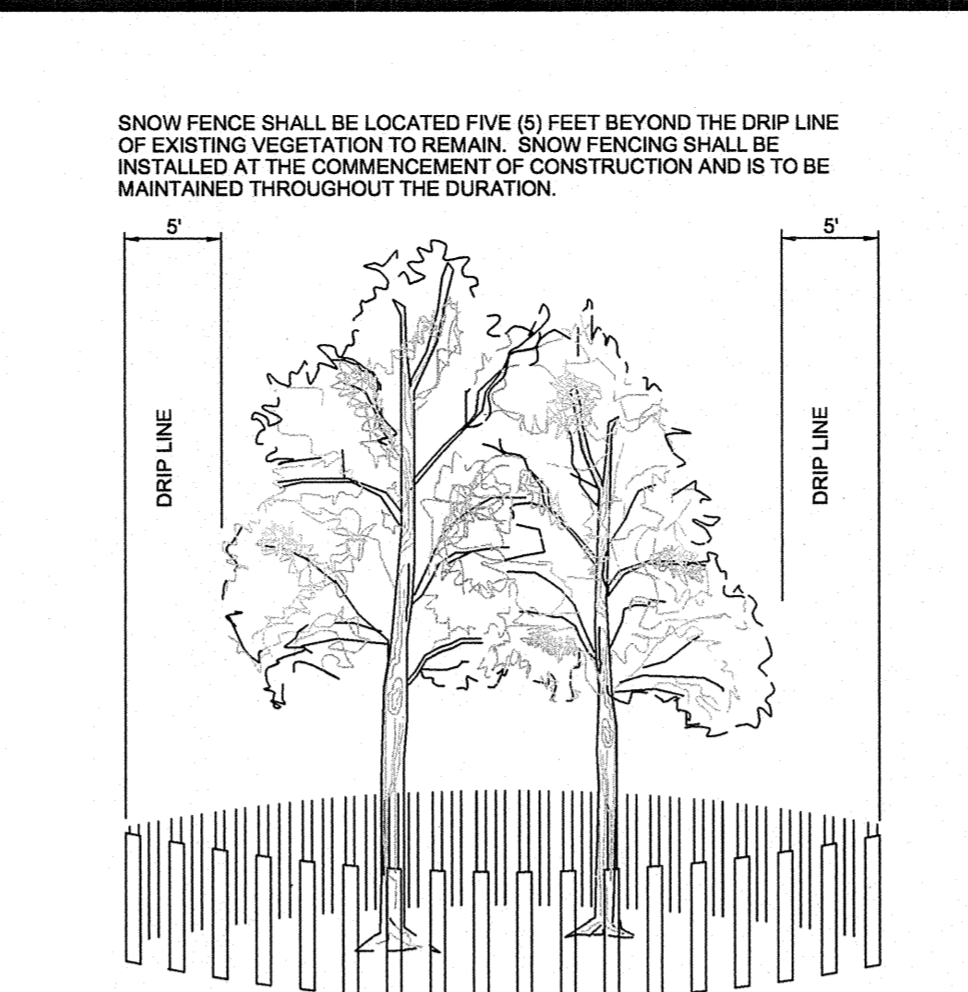
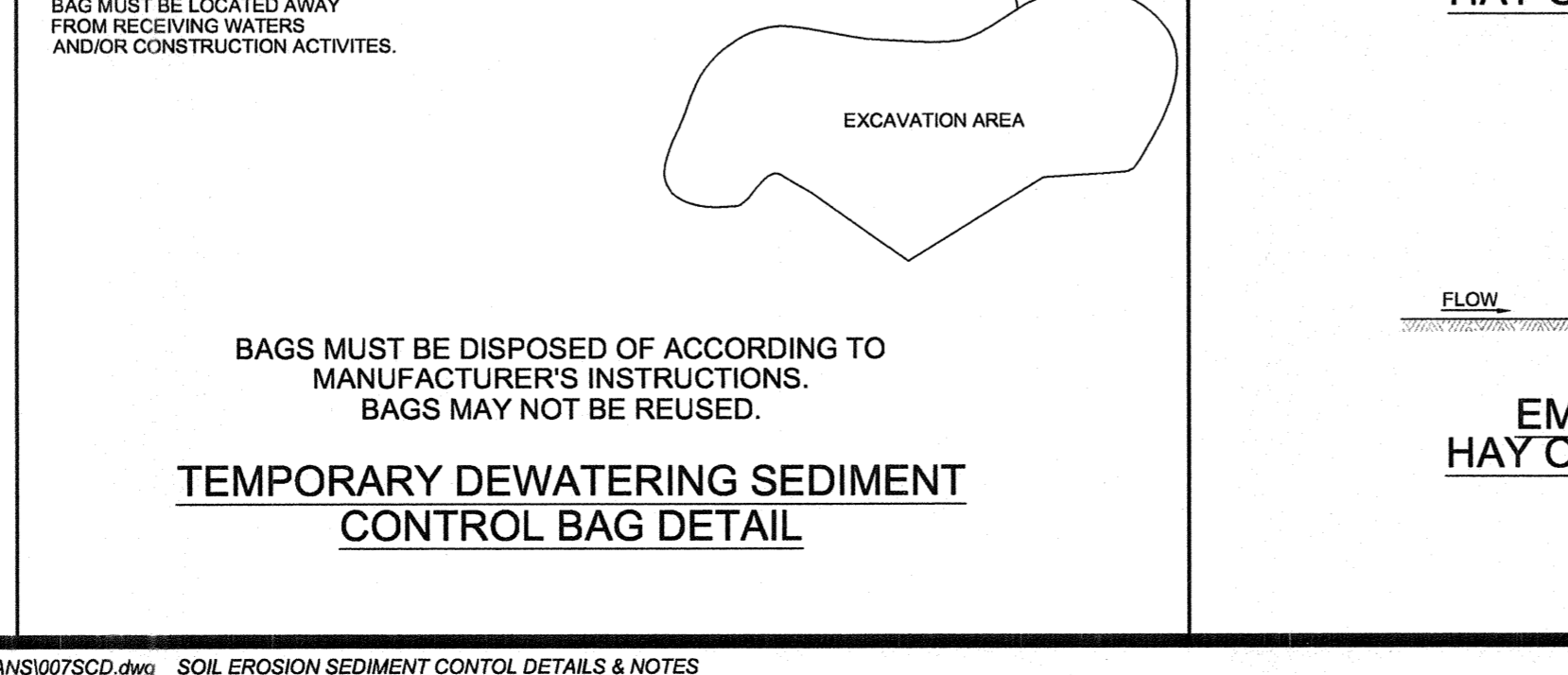
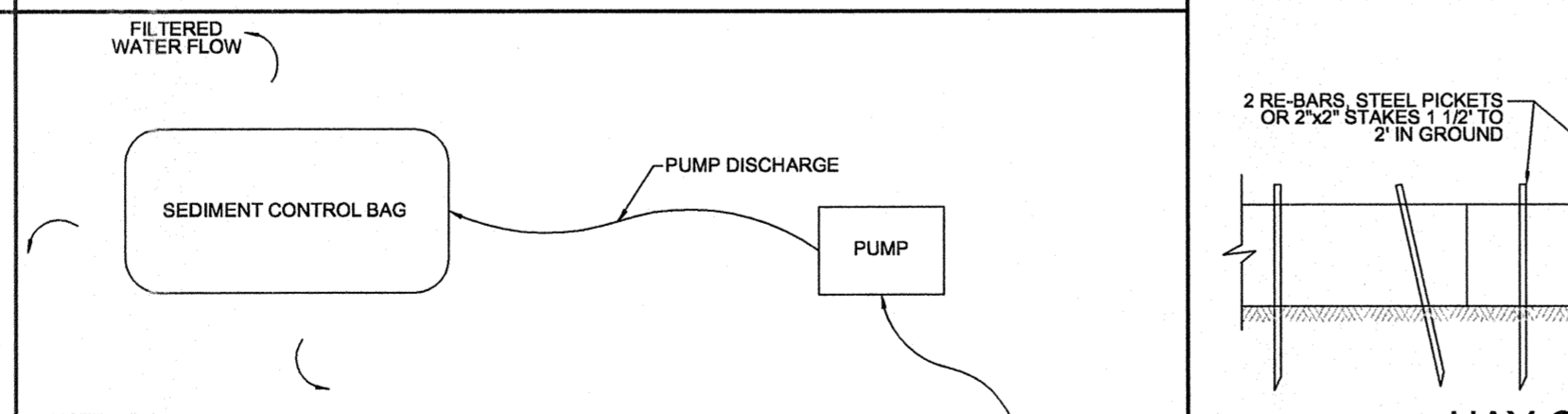
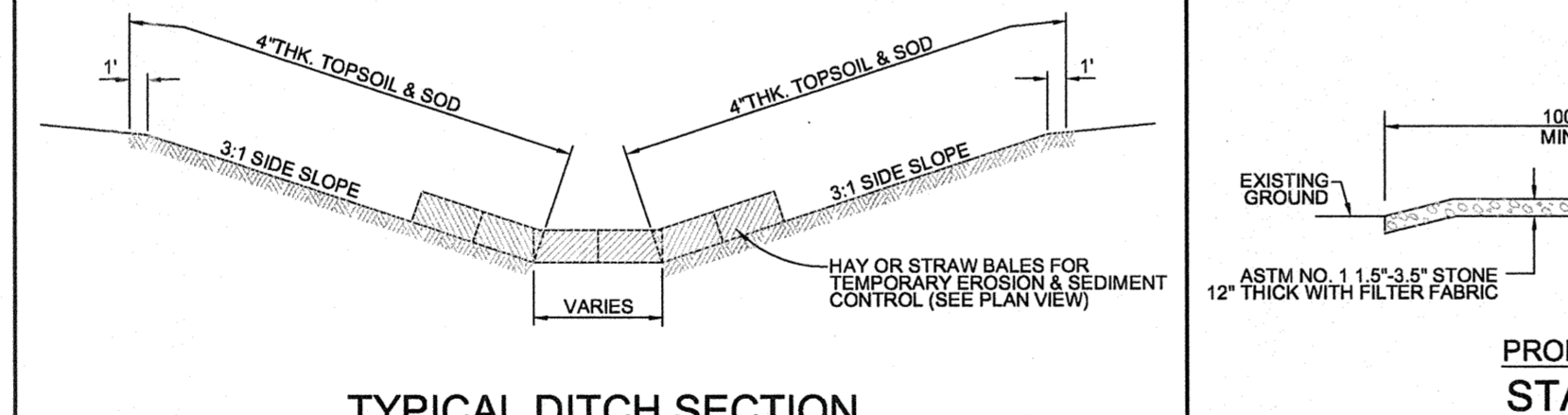
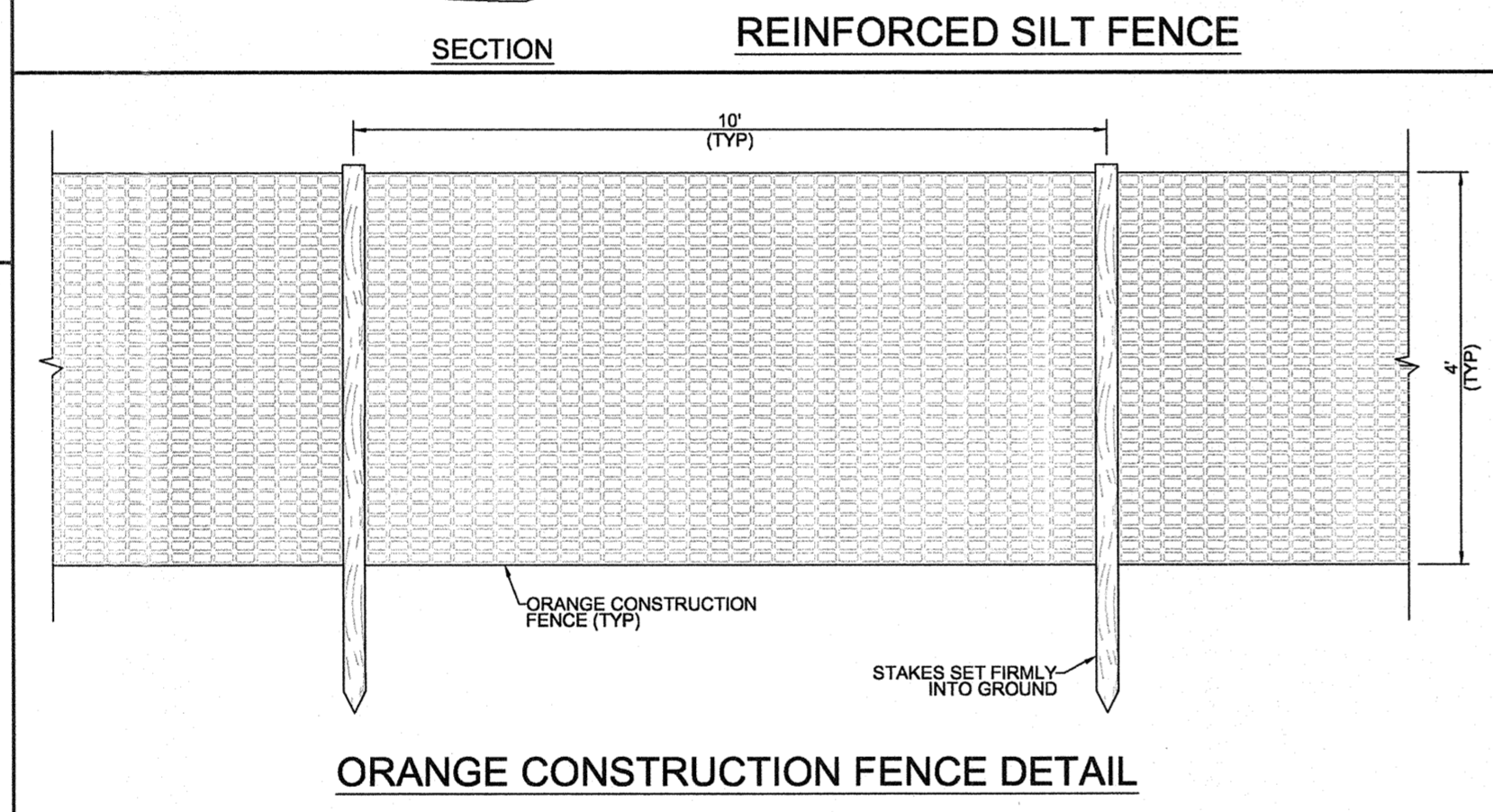
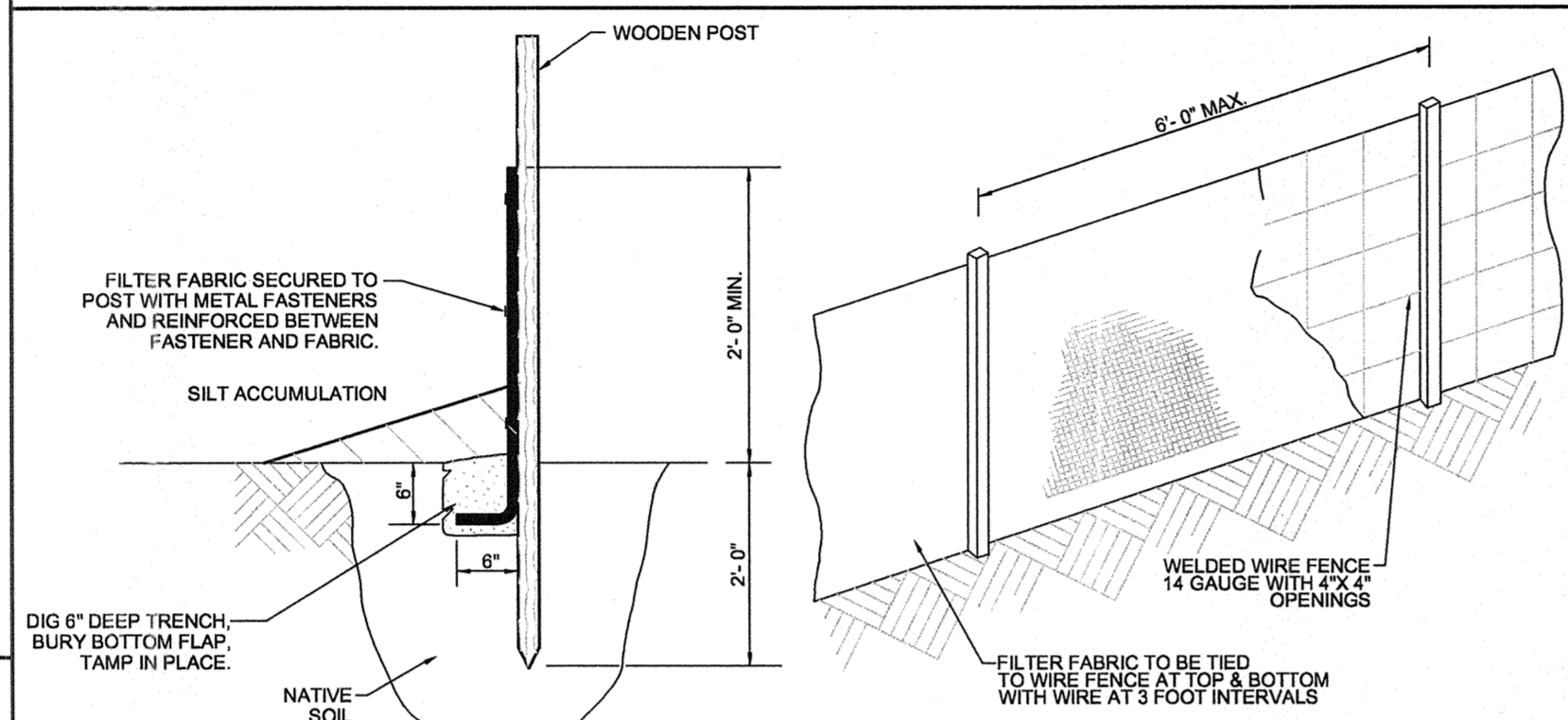
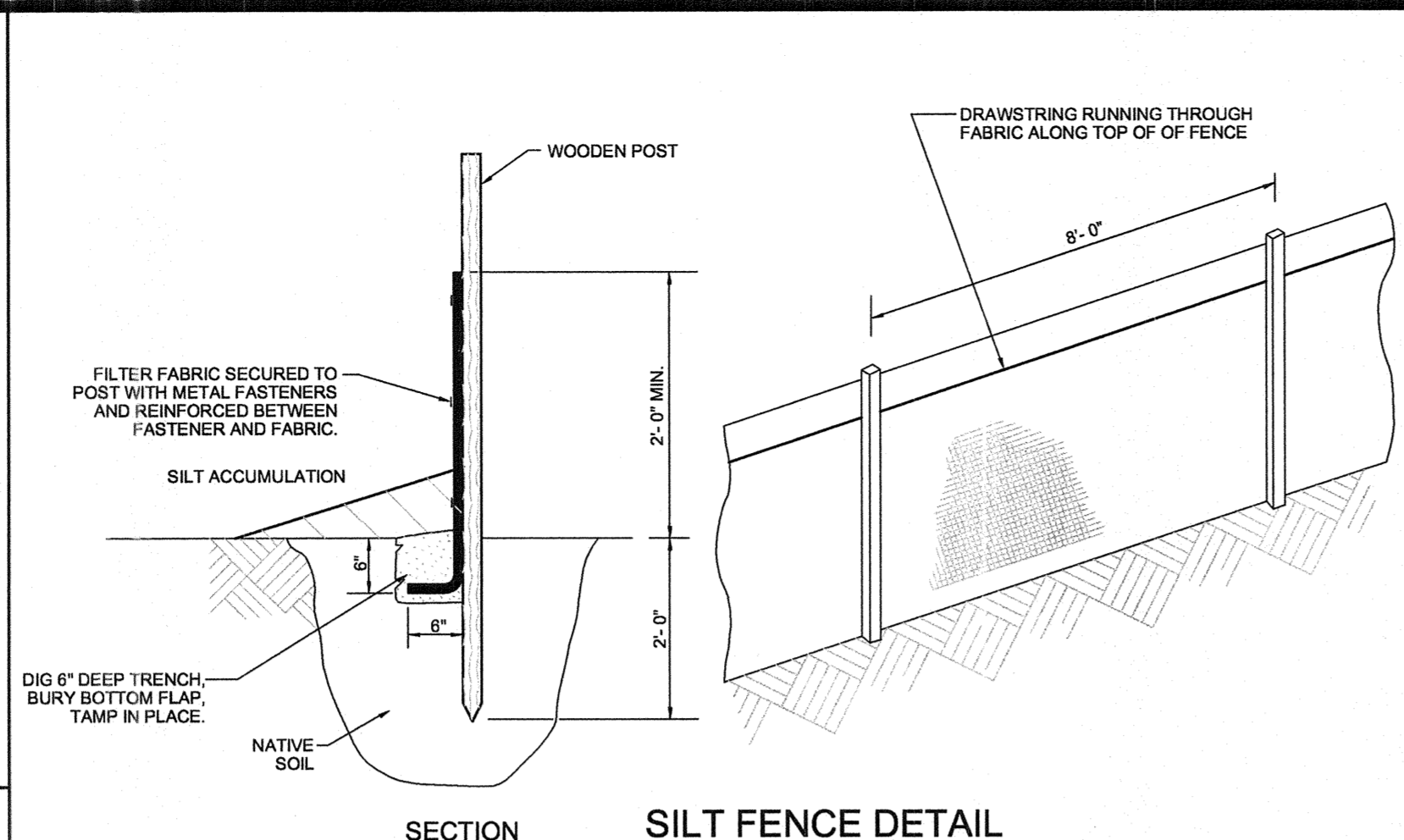
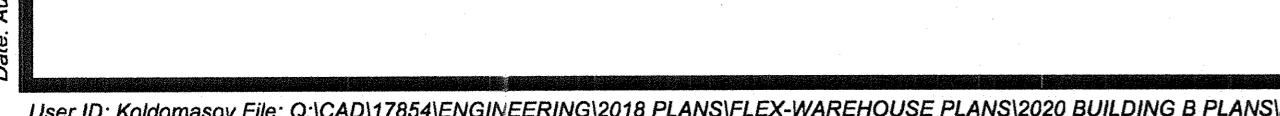
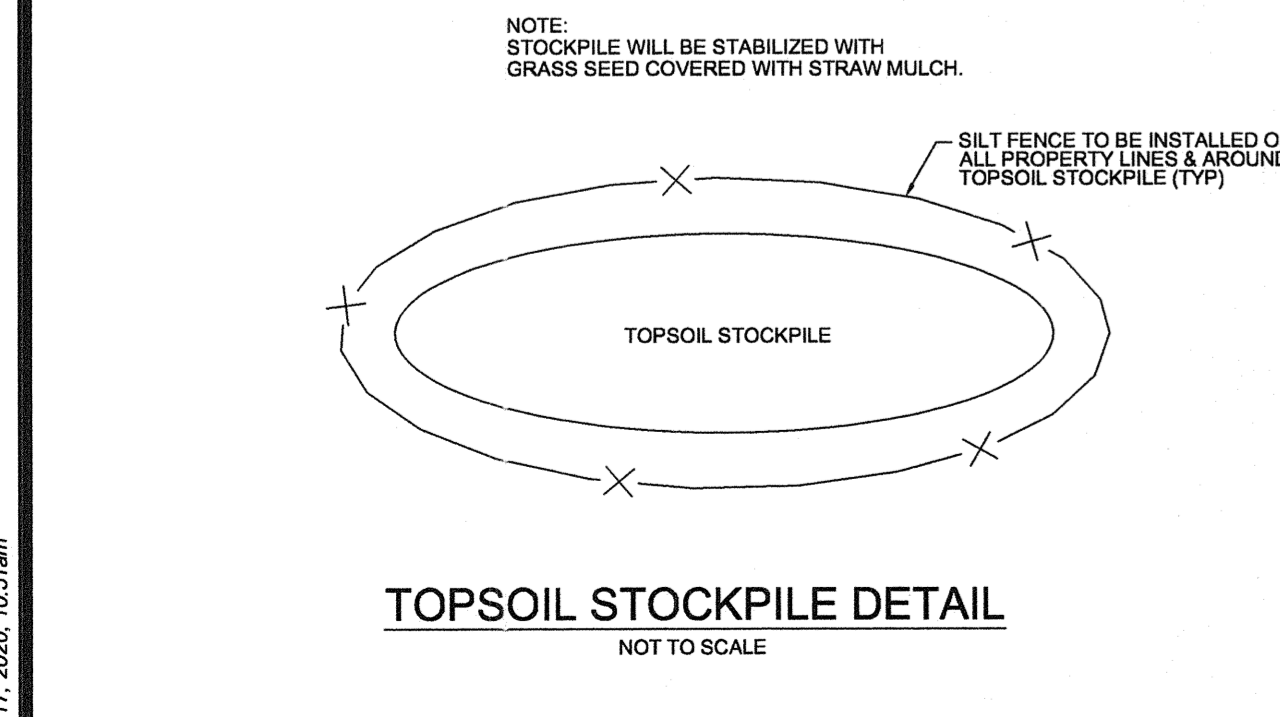
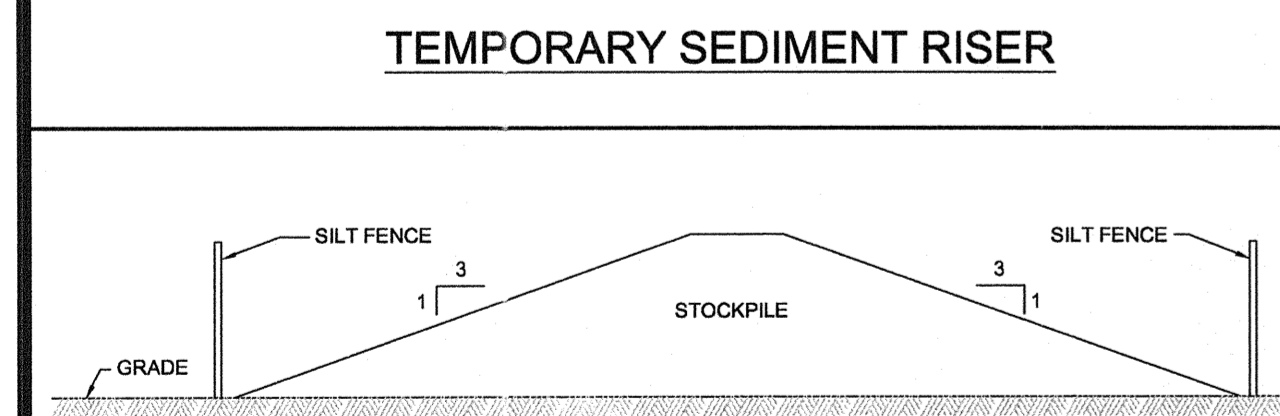
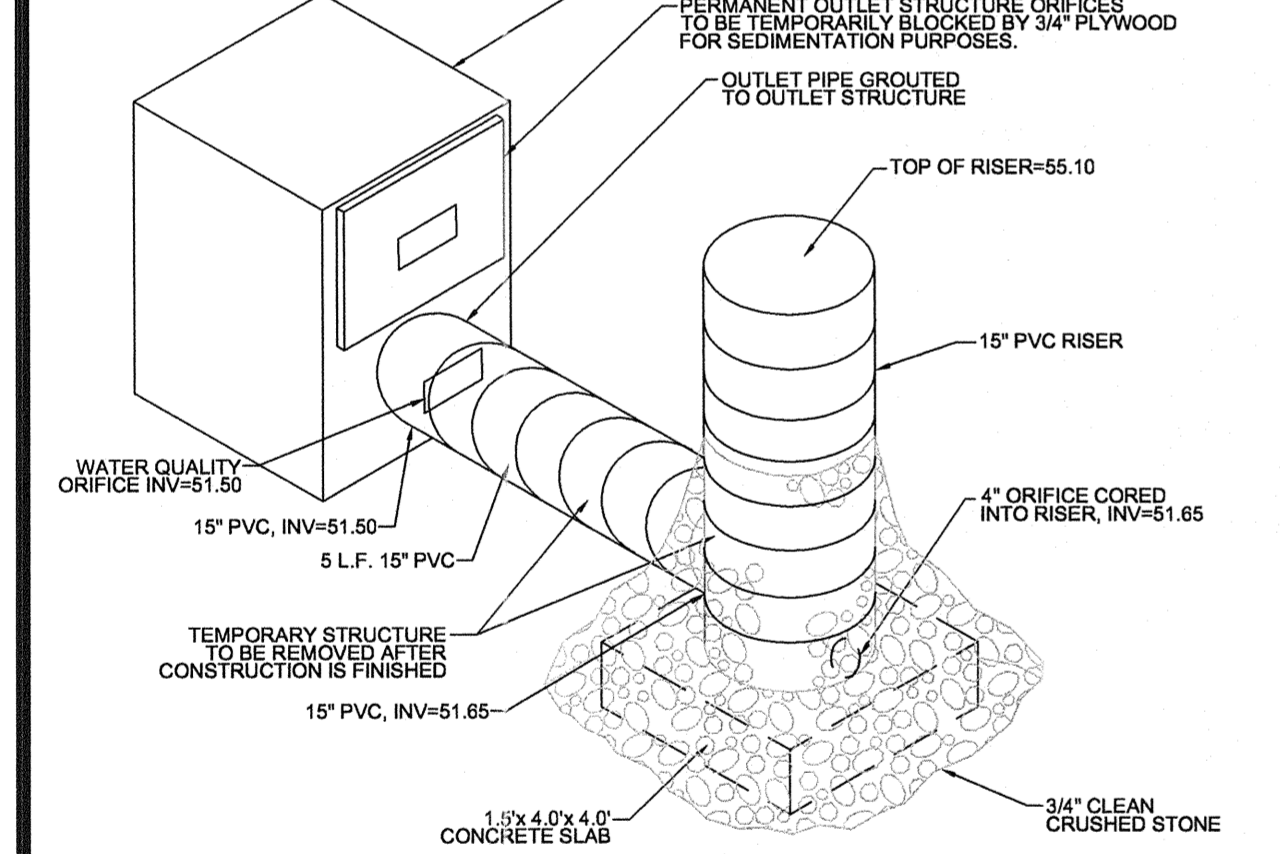
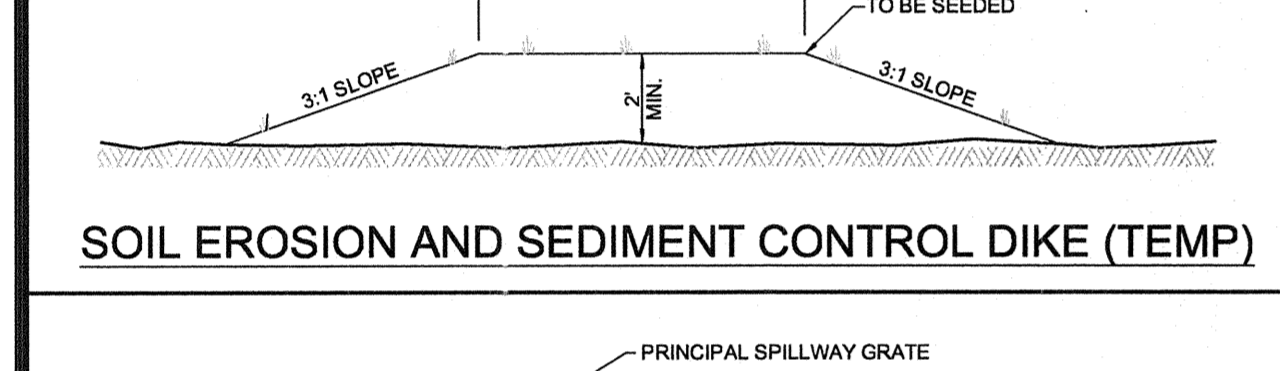
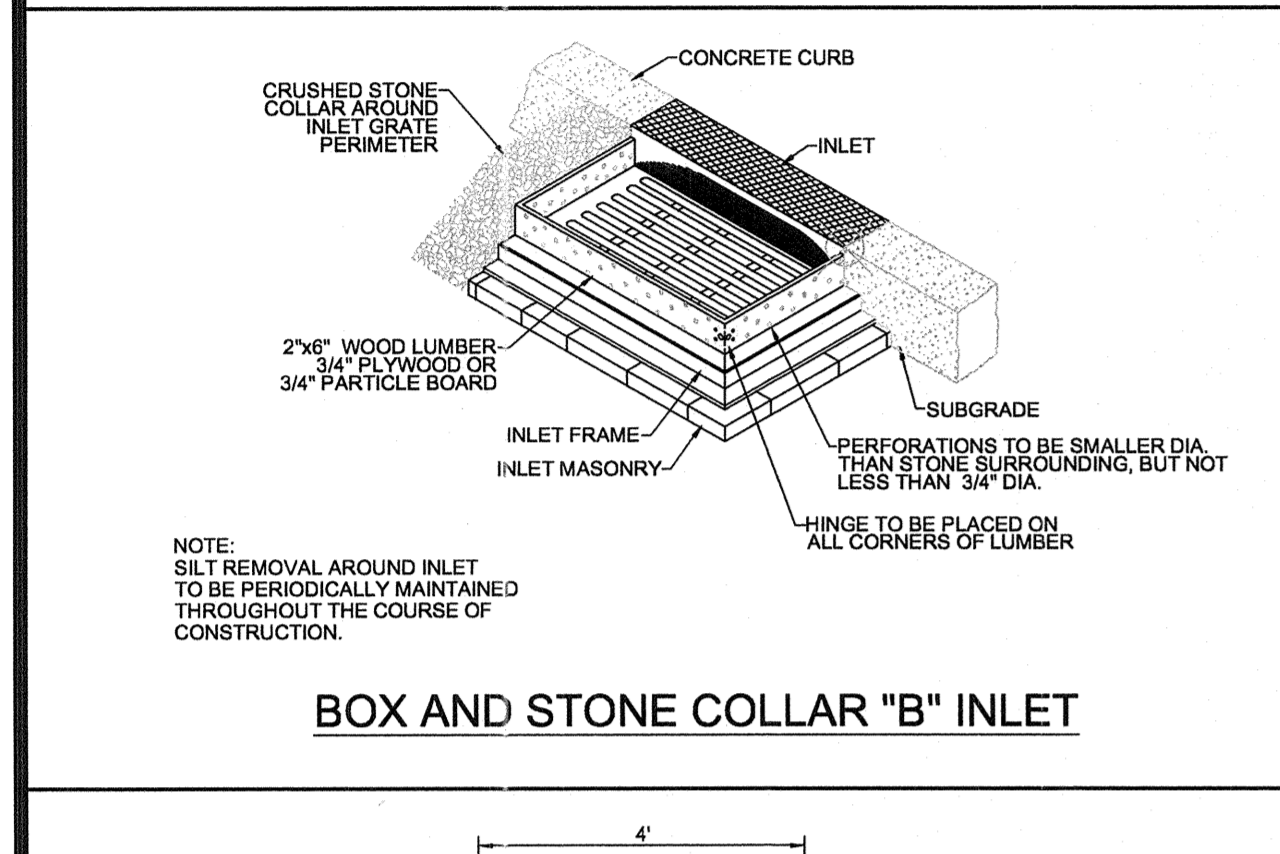
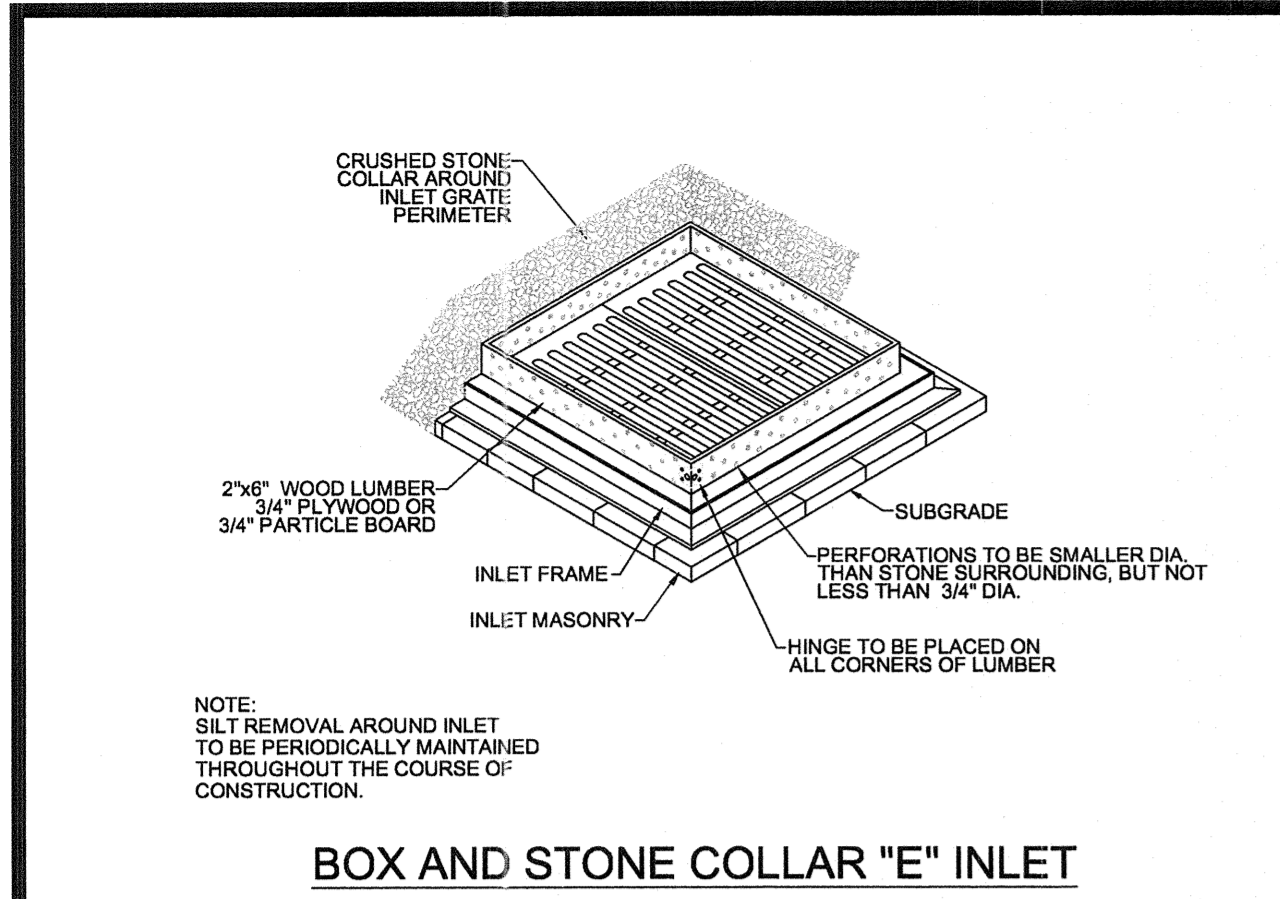
UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE, AND BASED ON EXISTING INFORMATION RECEIVED FROM UTILITY COMPANIES.

BASIN EXTRACTION NOTE:
 BASED ON THE SOIL INVESTIGATION, HARD PAN (FIRM/MARL) LAYER BETWEEN TEST PITS 6 AND 7 WAS OBSERVED WITH SIGNS OF PONDING PERCHED WATER. THE FIRM (MARL) LAYER SHALL BE REMOVED TO THE LOWER LIMITS EXHIBITING THESE FEATURE AND REPLACED WITH K4 MATERIAL.

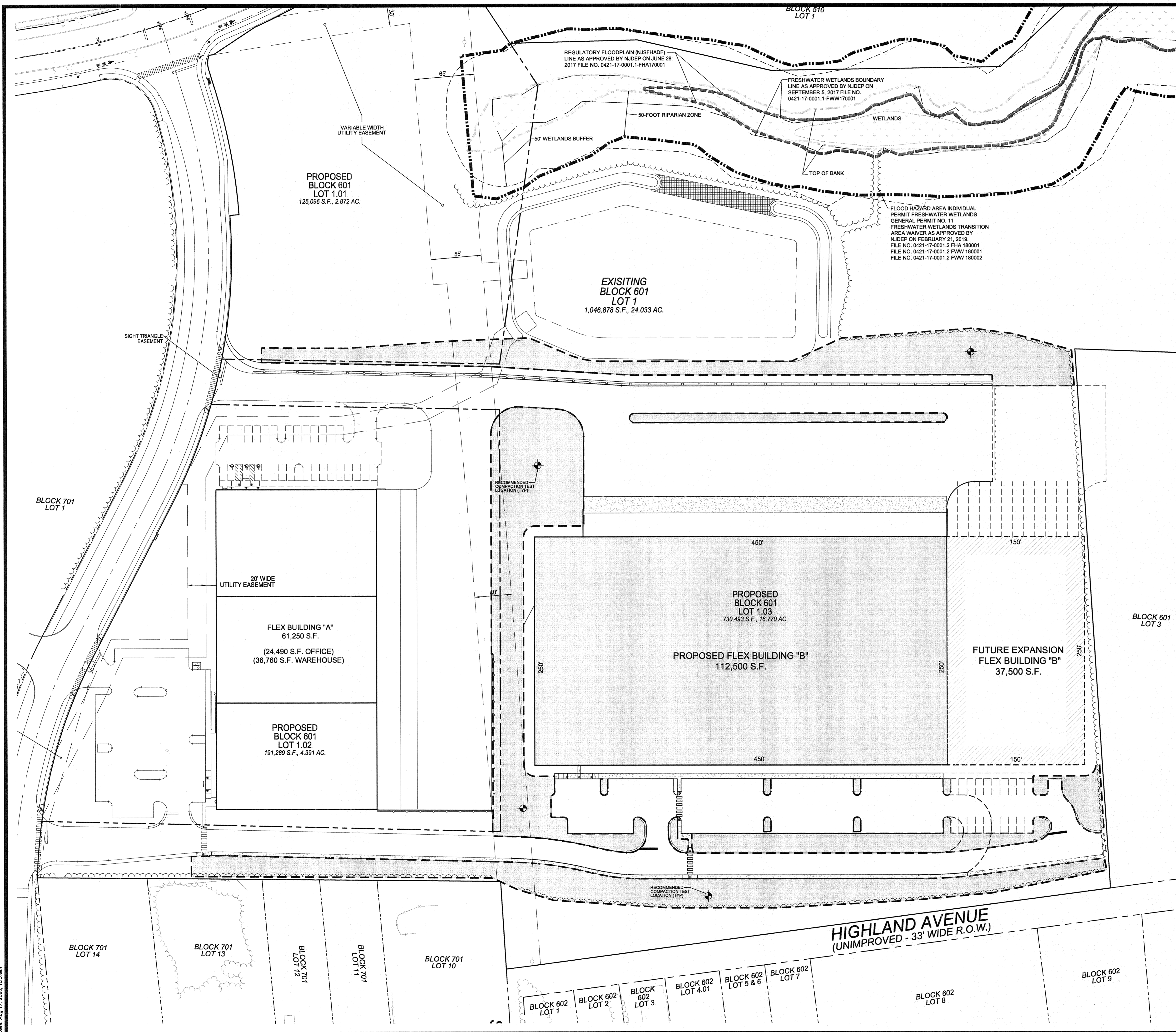


DESIGNED: VAK	DRAWN: AMH	CHECKED: EPB	DATE SIGNED: 8-17-20	REVISIONS: NO. DATE	
EDWARD P. BRADY 				SOIL EROSION AND SEDIMENT CONTROL PLAN WOODCREST STATION BUSINESS PARK 101 WALTER A. GAINES WAY BLOCK 601, LOTS 1.01, 1.02, & 1.03 BOROUGH OF LAWNSIDE, CAMDEN COUNTY, NJ Taylor Wiseman & Taylor ENGINEERS / SURVEYORS / SCIENTISTS 124 Gather Drive, Suite 100, Mt Laurel, NJ 08054 TELEPHONE: (856) 255-7200 FAX: (856) 722-9250 www.taylorwiseman.com NJ CERTIFICATE OF AUTHORIZATION NO. 24GA28032900	
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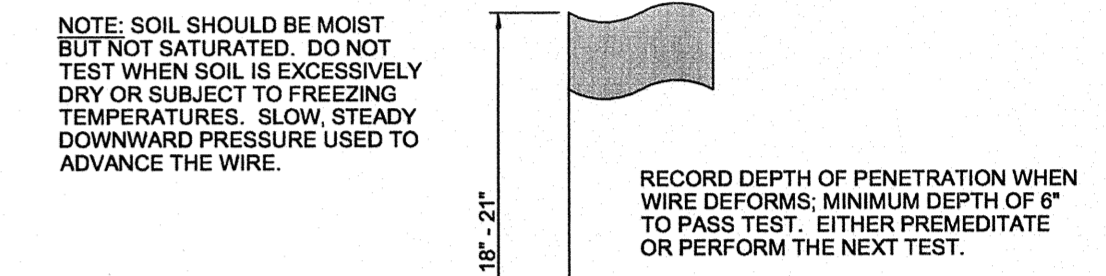
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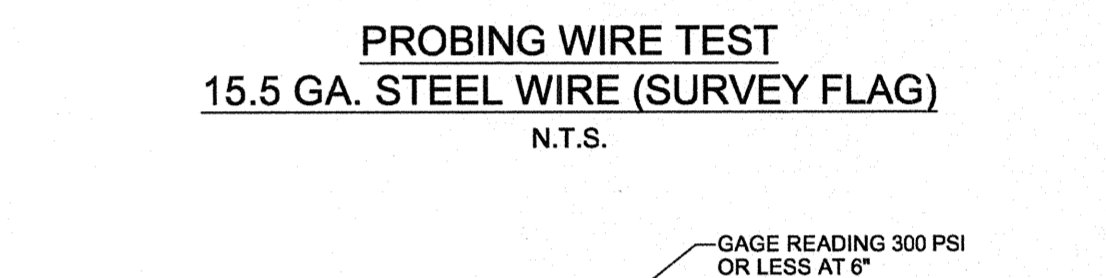
SOIL EROSION & SEDIMENT CONTROL DETAILS			
WOODCREST STATION BUSINESS PARK			
EDWARD P. BRADY			
101 WALTER A. GAINES WAY			
PLATE 7.01, BLOCK 601, LOT 1			
BLOCK 601, LOTS 1.01, 1.02, & 1.03			
BOROUGH OF LAWNSIDE, CAMDEN COUNTY, NJ			
Taylor Wiseman & Taylor			
ENGINEERS / SURVEYORS / SCIENTISTS			
124 Galder Drive, Suite 150, Mt Laurel, NJ 08054			
TELEPHONE: (856) 235-7200 FAX: (856) 722-9250			
www.taylorwiseman.com			
NJ CERTIFICATION NO. 24G28032900			
DESIGNED: VAK	DRAWN: AMH	CHECKED: EFB	NO. DATE
DATE SIGNED: 8-17-20			
SCALE: AS SHOWN		DATE: 8/17/2020	DRAWING NO: 2020-17854-WARESP2
N.J. PROFESSIONAL ENGINEER NO. 24G03283600			SHEET: 7 of 13



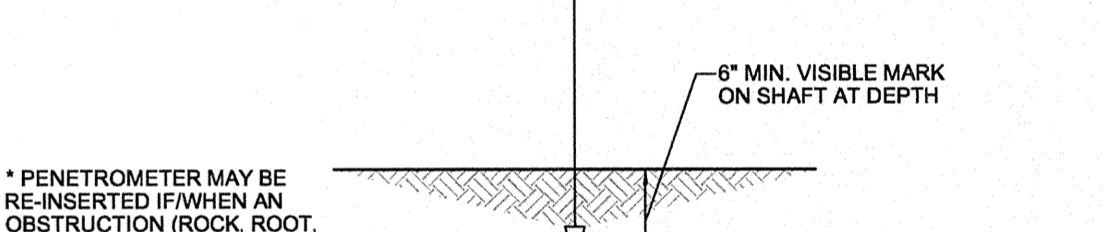
- SOIL DE-COMPACTION AND TESTING REQUIREMENTS**
- A. SOIL COMPACTION TESTING REQUIREMENTS**
- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION SPECIFICATIONS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
 - AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION AREA GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
 - COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. LOCATION D'S SHALL BE USED TO COMPLETE THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
 - IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLD INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION WHERE ONLY THE EXCESSIVE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO DETERMINE THE DEPTH OF EXCESSIVE COMPACTION WHERE ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.
- B. COMPACTION TESTING METHODS**
- PROBING WIRE TEST (SEE DETAIL)
 - HAND-HELD PENETROMETER TEST (SEE DETAIL)
 - TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL REQUIRED)
 - NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL REQUIRED)
 - NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
 - DETAILED REQUIREMENTS FOR EACH COMPACTION TESTING METHOD CAN BE FOUND IN SECTION 19 STANDARD FOR LAND GRADING OF THE NJ STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION.
 - SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (CONFINEMENT RELEASE BY MINIMUM DEPTH) OR (SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.
- C. PROCEDURES FOR SOIL COMPACTION MITIGATION**
- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL, AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
 - RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION (TILAGE 6" MINIMUM DEPTH) WHERE THERE IS NO RISK OF UNDERGROUND UTILITIES (HYDROLOGIC SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.



* WIRE MAY BE RE-INSERTED IF WHEN AN OBSTRUCTION (ROCK, ROOT, DEBRIS) IS ENCOUNTERED.



NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE PROBE. MEASURE DEPTH WHEN GAGE READING REACHES 300 PSI OR DEPTH OF 6".



* PENETROMETER MAY BE RE-INSERTED IF WHEN AN OBSTRUCTION (ROCK, ROOT, DEBRIS) IS ENCOUNTERED.

HANDHELD SOIL PENETROMETER TEST
N.T.S.

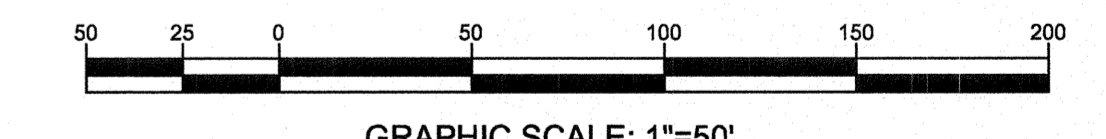
- LEGEND**
- SOIL COMPACTION TESTING AREAS
 - RECOMMENDED SOIL COMPACTION TEST LOCATION (APPROX. 1 PER .5 ACRE)
TOTAL COMPACTION TESTING AREA = 4.3 ACRES

THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING STRUCTURES AND UTILITIES, WHICH HE DEEMS NECESSARY, BOTH ABOVE AND BELOW THE GROUND SURFACE BEFORE HEAVY EQUIPMENT ENTERS THE CONSTRUCTION SITE.

FINAL INQUIRIES TO "UNDERGROUND UTILITIES" (PHONE #: 1-800-272-1000) SHALL BE MADE BY THE CONTRACTOR AND/OR OWNER WITHIN SEVEN (7) DAYS OF ENTERING THE SITE. THE CONTRACTOR AND/OR OWNER SHALL COORDINATE AND VERIFY THE METHOD OF UTILITY LOCATION WITH THE APPROPRIATE UTILITY COMPANIES.

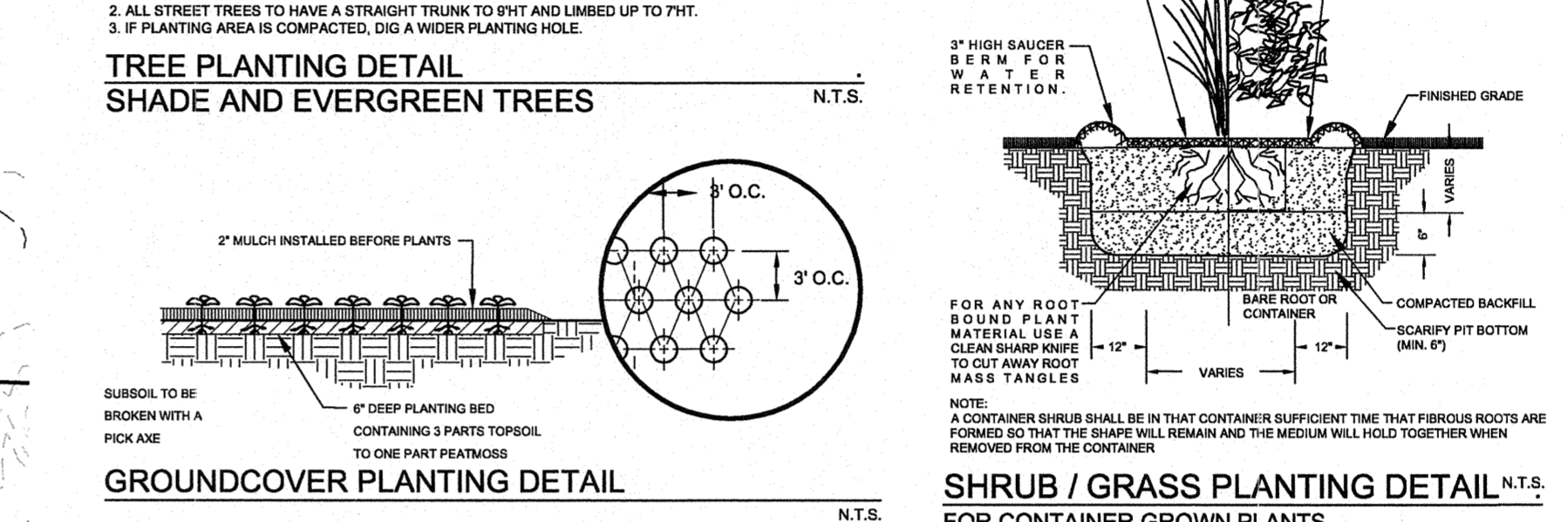
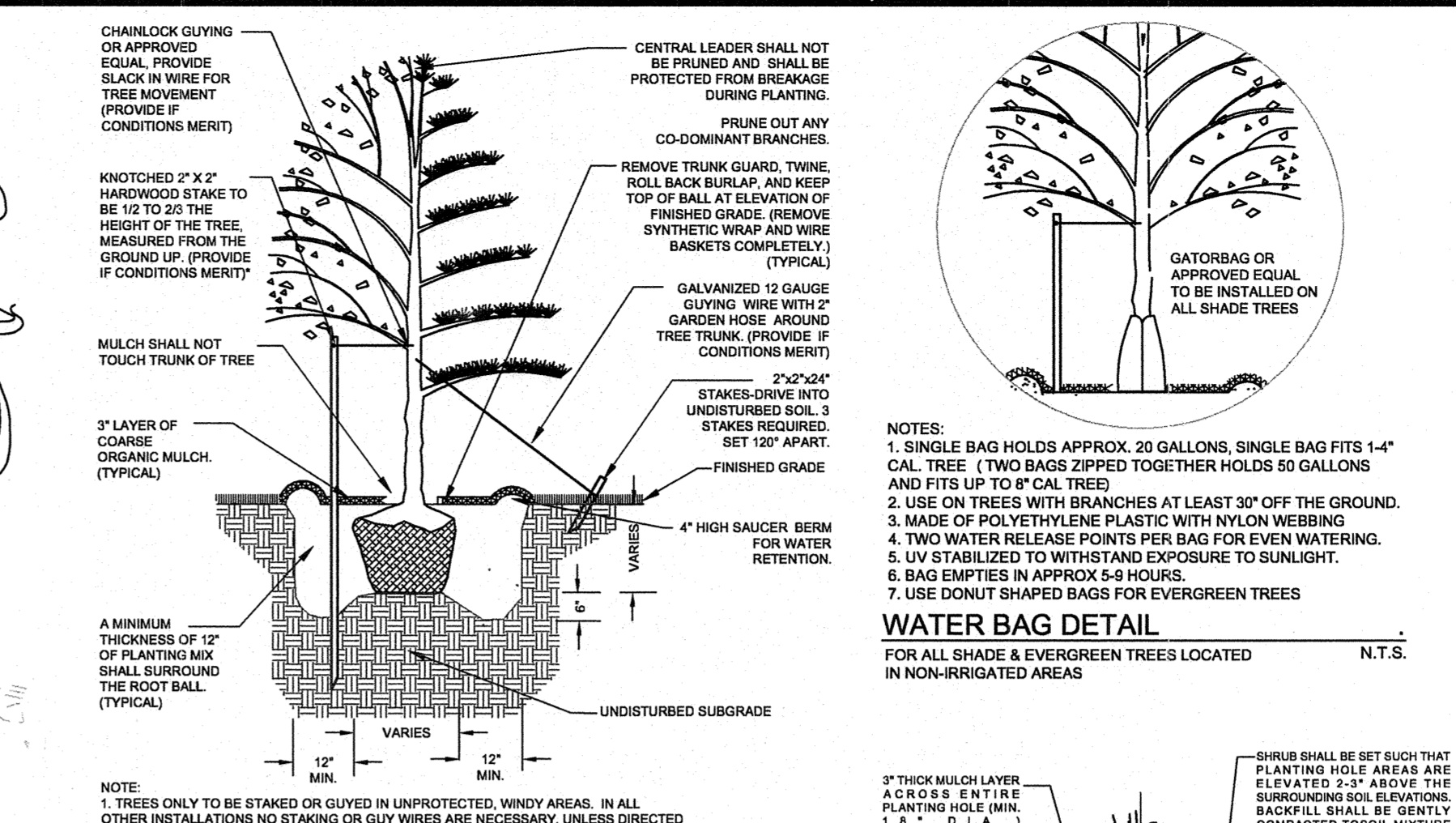
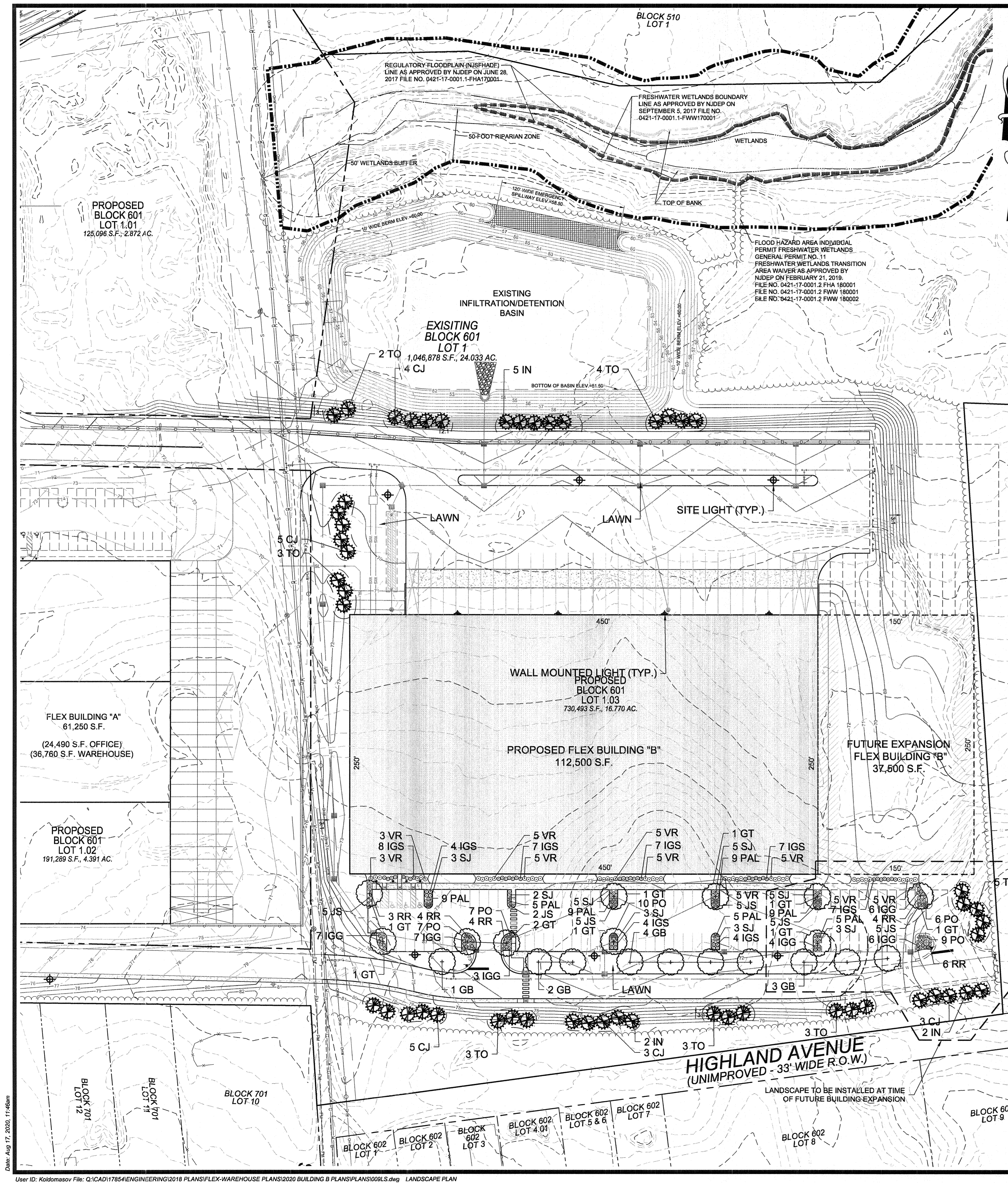
IN GENERAL, THE VERTICAL DESIGN OF PROPOSED GRAVITY UTILITIES, AS SHOWN, ARE INFLUENCED BY THE EXISTING GRAVITY UTILITIES ONLY, WHICH MAY NECESSITATE THE RELOCATIONS OF OTHER UTILITIES.

UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE, AND BASED ON EXISTING INFORMATION RECEIVED FROM UTILITY COMPANIES.



DESIGNED: VAK	DRAWN: AMH	CHECKED: EPB	SOIL COMPACTION MITIGATION PLAN	
DATE SIGNED: 8-17-20		REVISIONS:	WOODCREST STATION BUSINESS PARK	
EDWARD P. BRADY		NO. DATE	101 WALTER A. GAINES WAY PLATE 7.01, BLOCK 601, LOT 1 BLOCK 601, LOTS 1.01, 1.02, & 1.03 BOROUGH OF LAWNSIDE, CAMDEN COUNTY, NJ	
<i>Edward P. Brady</i>			Taylor Wiseman & Taylor ENGINEERS / SURVEYORS / SCIENTISTS 124 Galther Drive, Suite 150, Mt Laurel, NJ 08054 TELEPHONE: (856) 235-7200 FAX: (856) 722-9250 www.taylorwiseman.com NJ CERTIFICATE OF AUTHORIZATION NO. 24GA28032900	
N.J. PROFESSIONAL ENGINEER NO. 34GE03283600	SCALE: 1"=50'	DATE: 8/17/2020	DRAWING NO: 2020-17854-WARESP2	SHEET: 8 OF 13

Date: Aug 17, 2020, 10:51am



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	HGT.	CAL.	SIZE	NOTES
TREES							
GB	7	GINKO BILOBA 'AUTUMN GOLD'	FRUITLESS GINKGO TREE	12-14'	2-2 1/2"	B&B	STRAIGHT LEADER/FULL HEAD
GT	8	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEY LOCUST	12-14'	2-2 1/2"	B&B	STRAIGHT LEADER/FULL HEAD
EVERGREEN TREES							
CJ	17	CRYPTOMERIA JAPONICA	JAPANESE CRYPTOMERIA	6-7'		B&B	FULL/MATCHED
TO	18	THUJA OCCIDENTALIS 'GREEN GIANT'	GREEN GIANT EASTERN WHITE CEDAR	6-7'		B&B	FULL/MATCHED
IN	7	ILEX x 'NELLIE R. STEVENS'	NELLIE STEVENS HOLLY	6-7'		B&B	FULL/MATCHED
SHRUBS							
SJ	21	SPIREA JAPONICA 'GOLD FLAME'	GOLD FLAME SPIREA	18-24"		3 GAL.	WELL BRANCHED
IGG	22	ILEX GLABRA 'GEM BOX'	GEM BOX INKBERRY HOLLY	18-24"		3 GAL.	WELL BRANCHED
IGS	40	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	18-24"		3 GAL.	WELL BRANCHED
VR	36	VIBURNUM RHYTIDOPHYLLUM	LEATHERLEAF VIBURNUM	24-36"		5 GAL.	WELL BRANCHED
RR	11	ROSA RADRAZZ 'DOUBLE KNOCKOUT'	DOUBLE KNOCKOUT ROSE	18-24"		3 GAL.	WELL BRANCHED
GRASSES / GROUNDCOVER							
JS	12	JUNIPERUS SOUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	18-24"		2 GAL.	3 FT. O.C. SPACING
PAL	46	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	18-24"		1 GAL.	2 FT. O.C. SPACING
PO	15	PENNISETUM ORIENTALE 'KARLEY ROSE'	KARLEY ROSE FOUNTAIN GRASS	18-24"		1 GAL.	2 FT. O.C. SPACING

FUTURE BUILDING EXPANSION PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	HGT.	CAL.	SIZE	NOTES
TREES							
GB	3	GINKO BILOBA 'AUTUMN GOLD'	FRUITLESS GINKGO TREE	12-14'	2-2 1/2"	B&B	STRAIGHT LEADER/FULL HEAD
GT	8	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEY LOCUST	12-14'	2-2 1/2"	B&B	STRAIGHT LEADER/FULL HEAD
EVERGREEN TREES							
CJ	3	CRYPTOMERIA JAPONICA	JAPANESE CRYPTOMERIA	6-7'		B&B	FULL/MATCHED
TO	5	THUJA OCCIDENTALIS 'GREEN GIANT'	GREEN GIANT EASTERN WHITE CEDAR	6-7'		B&B	FULL/MATCHED
IN	2	ILEX x 'NELLIE R. STEVENS'	NELLIE STEVENS HOLLY	6-7'		B&B	FULL/MATCHED
SHRUBS							
SJ	8	SPIREA JAPONICA 'GOLD FLAME'	GOLD FLAME SPIREA	18-24"		3 GAL.	WELL BRANCHED
IGG	12	ILEX GLABRA 'GEM BOX'	GEM BOX INKBERRY HOLLY	18-24"		3 GAL.	WELL BRANCHED
IGS	7	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	18-24"		3 GAL.	WELL BRANCHED
VR	10	VIBURNUM RHYTIDOPHYLLUM	LEATHERLEAF VIBURNUM	24-36"		5 GAL.	WELL BRANCHED
RR	10	ROSA RADRAZZ 'DOUBLE KNOCKOUT'	DOUBLE KNOCKOUT ROSE	18-24"		3 GAL.	WELL BRANCHED
GRASSES / GROUNDCOVER							
JS	10	JUNIPERUS SOUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	18-24"		2 GAL.	3 FT. O.C. SPACING
PAL	10	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	18-24"		1 GAL.	2 FT. O.C. SPACING
PO	15	PENNISETUM ORIENTALE 'KARLEY ROSE'	KARLEY ROSE FOUNTAIN GRASS	18-24"		1 GAL.	2 FT. O.C. SPACING

LANDSCAPE NOTE:

- A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF QUANTITIES, SIZES, AND OTHER REQUIREMENTS IS SHOWN ON THE PLANT SCHEDULE IN THE EVENT THAT DISCREPANCIES OCCUR BETWEEN THE QUANTITIES OF PLANTS INDICATED ON THE PLANT LIST AND THOSE INDICATED ON THE PLAN, THE PLANT QUANTITIES INDICATED ON THE PLAN SHALL GOVERN.
- ANY PLANT SCHEDULE MODIFICATION SHALL BE SUBJECT TO THE APPROVAL BY TOWNSHIP REPRESENTATIVE, PROJECT LANDSCAPE ARCHITECT & CLIENT PRIOR TO THE PRE-CONSTRUCTION MEETING AND MUST BE MADE IN WRITING TO AUTHORIZE ANY MODIFICATION TO THE PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES BEFORE EXCAVATING.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE SOIL TESTING RESULTS AND A COURSE OF ACTION TO REMEDY ANY TOPSOIL DEFICIENCIES PRIOR TO THE COMMENCEMENT OF WORK.
- IT IS UNDERSTOOD THAT THE OWNER SHALL ASSUME RESPONSIBILITY FOR WATERING ALL PLANTS AND LAWN AREAS BEYOND THE GUARANTEE PERIOD COMMENCING WITH THE DATE OF INITIAL ACCEPTANCE. THE CONTRACTOR MUST PROVIDE LANDSCAPE MAINTENANCE INSTRUCTIONS AT THE TIME OF ACCEPTANCE TO BE IN ACCORDANCE WITH THE FOLLOWING SCHEDULE OF FERTILIZING, PRUNING, WEEDING, & MOVING.
- ALL PLANT MATERIALS SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERMEN STANDARDS AND SHALL BE FIRST QUALITY NURSERY GROWN STOCK, FREE FROM DISEASE OR OBSTRUCTIBLE DISFIGUREMENTS AND PLANTED IN CONFORMANCE WITH SOUND NURSERY PRACTICE AND APPLICABLE CITY STANDARDS.
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OF VARIETY. ALL PLANTS SHALL HAVE WELL DEVELOPED BRANCHES AND VIGOROUS ROOT SYSTEM. THEY SHALL BE FREE FROM DEFECTS, DISFIGURING KNOTS, ABRASIONS OF BARK, SUN-SCALD INJURIES, PLANT DISEASES, INSECT BORES, BORERS, AND ALL OTHER DEFECTS. ALL PLANT MATERIALS SHALL BE THOROUGHLY WETTED WITH AN ANTI-TRANSPIRANT UPON DELIVERY OF MATERIAL TO THE SITE. ALL EVERGREEN MATERIAL SHALL BE RE-SPRAYED PRIOR TO THE FIRST WATER BY OWNER.
- SIZE AND SPACING STANDARDS SHALL CONFORM TO ANSI Z60.1 IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. LATEST EDITION OR BETTER AND SHALL BE MAINTAINED AS SUCH THROUGHOUT THE PROJECT PERIOD.
- MADE OF POLYETHYLENE PLASTIC WITH NYLON WEAVING.
- TWO WATER RELEASE POINTS PER BAG FOR EVEN WATERING.
- LIV STABILIZED TO WITHSTAND EXPOSURE TO SUNLIGHT.
- BAG EMPTIES IN APPROX 50 HOURS.
- USE DONUT SHAPED BAGS FOR EVERGREEN TREES.

LAWN SEED SCHEDULE

TALL FESCUE SEED MIXTURE

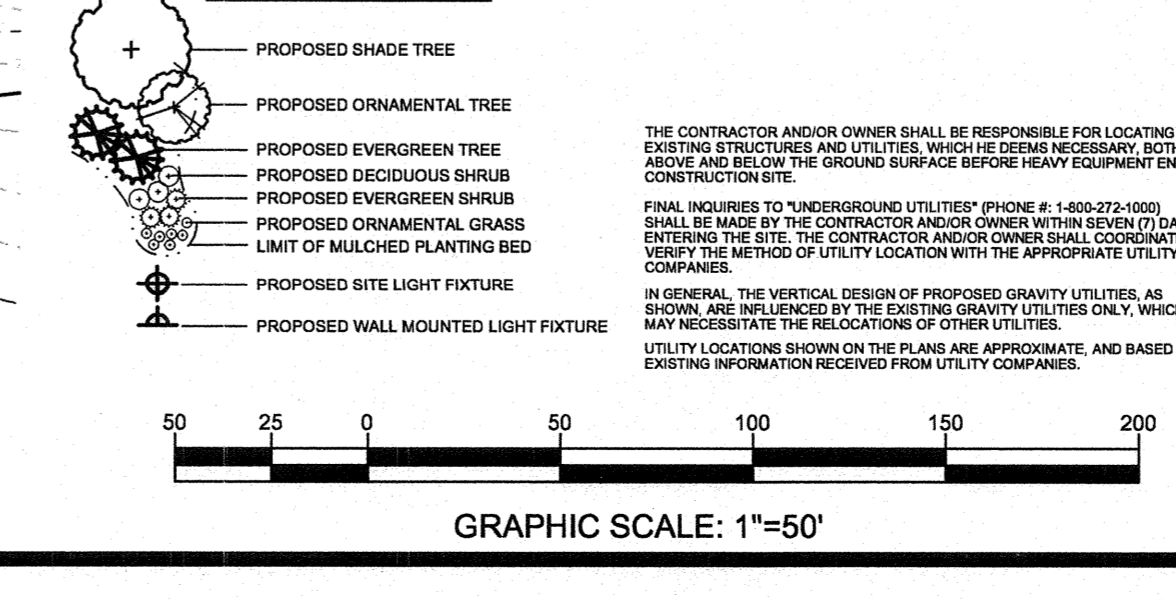
SUPPLIER MUST PROVIDE SEED PACKAGE LABEL WITH NAME OF SEED MIX, LOT NO., % OF SPECIES, NUTRIENT ANALYSIS, AND WEED SEED GERMINATION % AND PLS. AGRICULTURAL MARKING NO. ORIGIN OF SEED, TEST DATE AND PACKAGE WEIGHT.

% WT	VARIETY/SPECIES
4%	Rebel Extra Turf Type Tall Fescue
2%	Rebel Century Turf Type Tall Fescue
10%	Yachtclub Supreme Hybrid

SEED RATE: 40 LBS./10,000 SF
STRAWN RATE: 1.52 TONS / ACRE
SEED MIXTURES AND APPLICATION RATES MAY VARY IN ACCORDANCE WITH BEST LOCAL PRACTICES AND APPROVING AGENCIES AUTHORITY.
RECOMMENDED SEEDING DATES: MARCH 15/MAY 15 & SEPTEMBER 1 - NOVEMBER 1

LANDSCAPE PLAN NOTES:

- TREES ARE PLANTED IN THE PARKING LOT @ 2 TREES PER 10 SPACES IN ACCORDANCE WITH ITEM 9(c) OF THE DEVELOPMENT PLAN. 100 PARKING SPACES (INCLUDING FUTURE PARKING) ARE PROVIDED THEREFORE 20 TREES ARE REQUIRED AND HAVE BEEN PROVIDED.
- REQUIREMENT FOR 5% (1,538 SF) OF PARKING LOT INTERIOR (INCLUDING FUTURE PARKING AREA) TO BE LANDSCAPED HAS BEEN EXCEEDED. LANDSCAPE PLAN PROVIDES 6.9% (1,710 SF) LANDSCAPING OF PARKING LOT INTERIOR (INCLUDING FUTURE PARKING AREA).
- LANDSCAPE BUFFER HAS BEEN PROVIDED WITH 50% OF PLANTING PROVED EVERGREEN TREES AT 6 FOOT HEIGHT.



LANDSCAPE PLAN

DESIGNED: JEB
DRAWN: DR
CHECKED: JEB
DATE SIGNED: 8-17-20
REVISIONS: NO. DATE

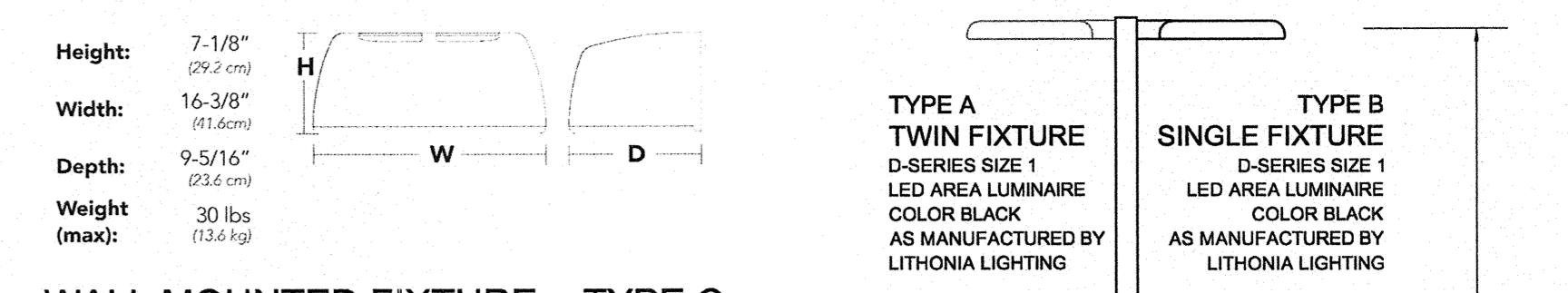
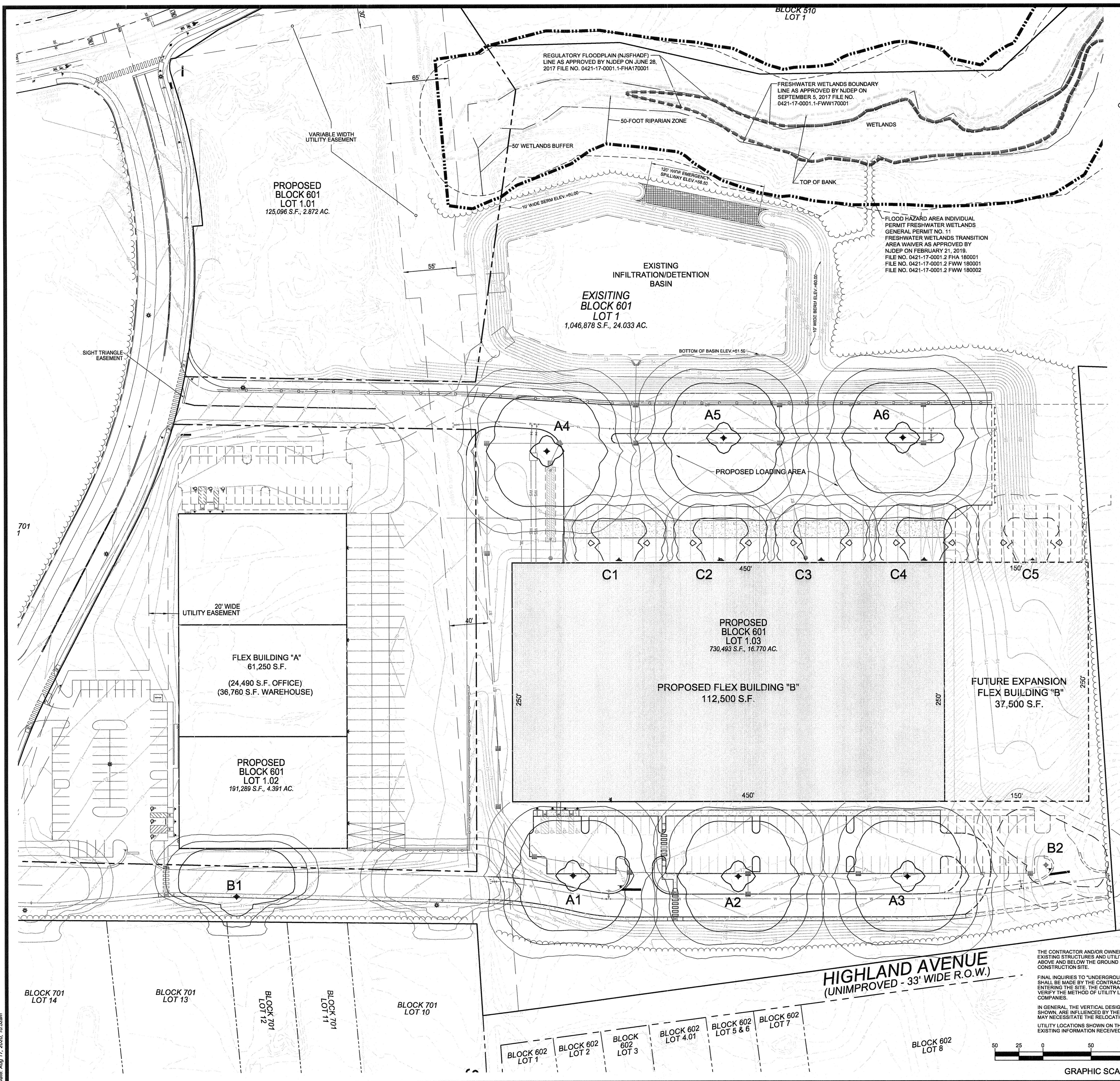
JILL E. BARBER
NJ LICENSED LANDSCAPE ARCHITECT NO. 21A500099100

SCALE: AS SHOWN
DATE: 8/17/2020
DRAWING NO.: 2020-17854-WARES2
SHEET: 9 OF 13

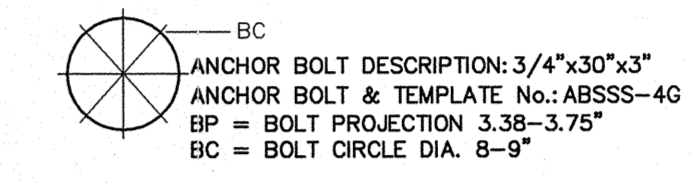
LANDSCAPE PLAN

WOODCREST STATION BUSINESS PARK
101 WALTER A. GAINES WAY
PLATE 7.01, BLOCK 601, LOT 1
BLOCK 601, LOTS 1.01, 1.02, & 1.03
BOROUGH OF LAWNSDALE, CAMDEN COUNTY, NJ

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ENGINEERS / SURVEYORS / SCIENTISTS
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www.taylorwiseman.com
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA20032900



WALL MOUNTED FIXTURE - TYPE C
TYPE C - WALL MOUNTED FIXTURE, QTY: 4
CATALOG NO. CSXW1-LED-700-40K-T7M-MVOLT
CONTOUR SERIES LED WALL LUMINAIRE AT 25' MOUNTING HEIGHT, 30LEDs, 700mA, 4000K, TYPE FORWARD THROW MEDIUM, MVOLT, COLOR BLACK, AS MANUFACTURED BY LITHONIA LIGHTING www.lithonia.com (800) 279-8041

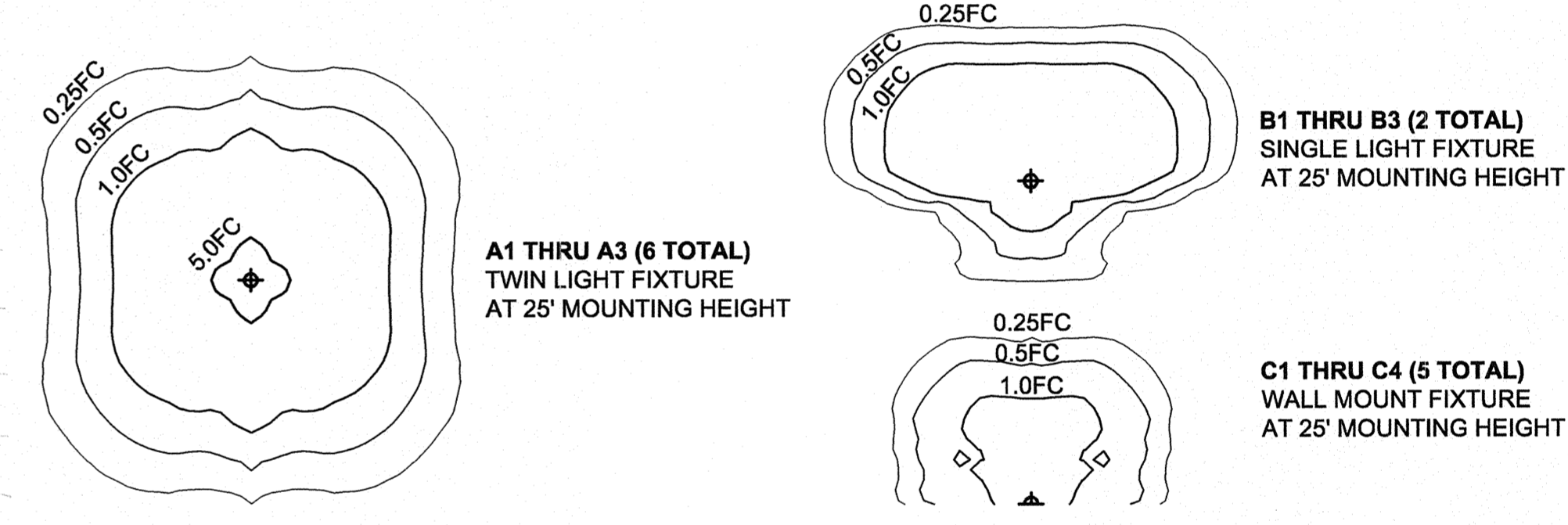


SITE LIGHT FIXTURE WITH POLE - TYPE A & B
TYPE A - TWIN MOUNTED SITE LIGHT FIXTURE, QTY: 6
CATALOG NO. DSX1-LED-P7-40K-T4M-MVOLT
D-SERIES SIZE 1 LED AREA LUMINAIRE AT 25' MOUNTING HEIGHT, P7 FORWARD OPTIC, 4000K, TYPE 4 MEDIUM DISTRIBUTION, MVOLT WITH HOUSE SIDE SHIELD, COLOR BLACK, AS MANUFACTURED BY LITHONIA LIGHTING www.lithonia.com (800) 279-8041

TYPE B - SINGLE MOUNTED SITE LIGHT FIXTURE, QTY: 2
CATALOG NO. DSX1-LED-P7-40K-T3S-MVOLT
D-SERIES SIZE 1 LED AREA LUMINAIRE AT 25' MOUNTING HEIGHT, P7 FORWARD OPTIC, 4000K, TYPE 3 SHORT DISTRIBUTION, MVOLT WITH HOUSE SIDE SHIELD, COLOR BLACK, AS MANUFACTURED BY LITHONIA LIGHTING www.lithonia.com (800) 279-8041

POLE FIXTURE A, QTY: 7
CATALOG NO. SSS-25-4G-DBLXD
POLE FIXTURE TO BE 4 INCH SQUARE NON-TAPERED 7 GAUGE STEEL, 25' HEIGHT, COLOR BLACK, AS MANUFACTURED BY LITHONIA LIGHTING www.lithonia.com (800) 279-8041

LIGHTING LEGEND:

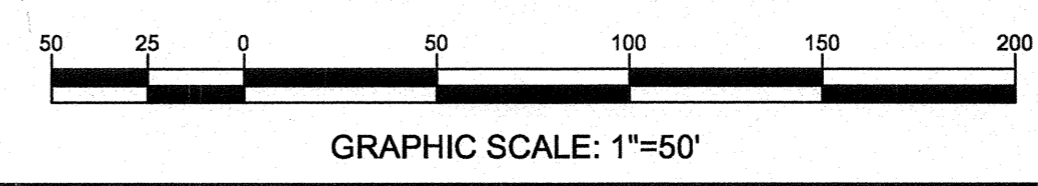


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FINAL INQUIRIES TO "UNDERGROUND UTILITIES" (PHONE # 1-800-272-1000) SHALL BE MADE BY THE CONTRACTOR AND/OR OWNER WITHIN SEVEN (7) DAYS OF ENTERING THE SITE. THE CONTRACTOR AND/OR OWNER SHALL COORDINATE AND VERIFY THE METHOD OF UTILITY LOCATION WITH THE APPROPRIATE UTILITY COMPANIES.

IN GENERAL, THE VERTICAL DESIGN OF PROPOSED GRAVITY UTILITIES, AS SHOWN, ARE INFLUENCED BY THE EXISTING GRAVITY UTILITIES ONLY, WHICH MAY NECESSITATE THE RELOCATIONS OF OTHER UTILITIES.

UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE, AND BASED ON EXISTING INFORMATION RECEIVED FROM UTILITY COMPANIES.



DESIGNED: CBS	DRAWN: ML	CHECKED: EPB
DATE SIGNED: 8-17-20	REVISIONS:	
EDWARD P. BRADY		
<i>Edward P. Brady</i>		
N.J. PROFESSIONAL ENGINEER NO. 24GE03283600	SCALE: 1"=50'	DATE: 8/17/2020

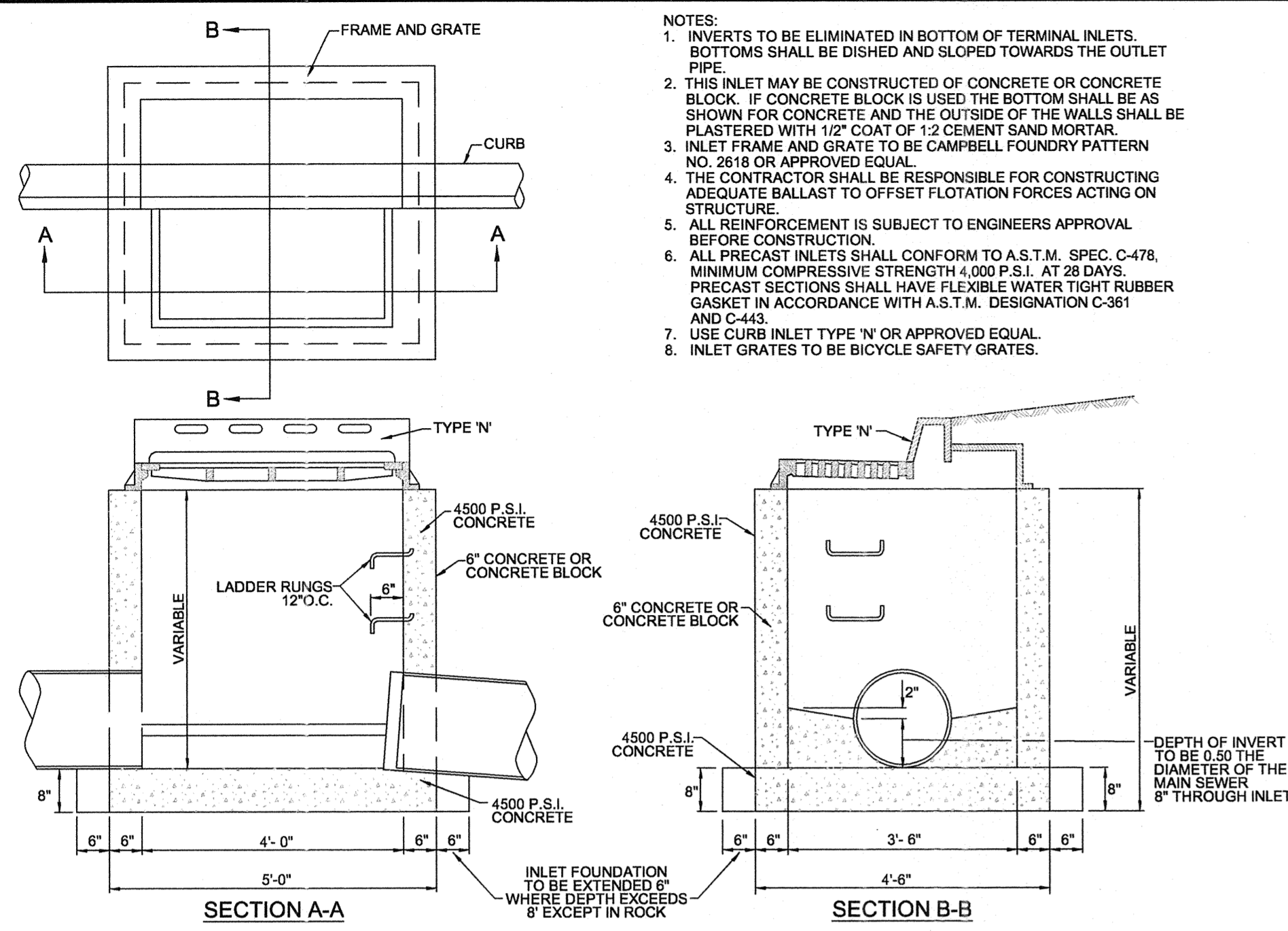
LIGHTING PLAN

WOODCREST STATION BUSINESS PARK
101 WALTER A. GAINES WAY
PLATE 7.01, BLOCK 601, LOT 1
BLOCK 601, LOTS 1.01, 1.02, & 1.03
BOROUGH OF LAWNSIDE, CAMDEN COUNTY, NJ

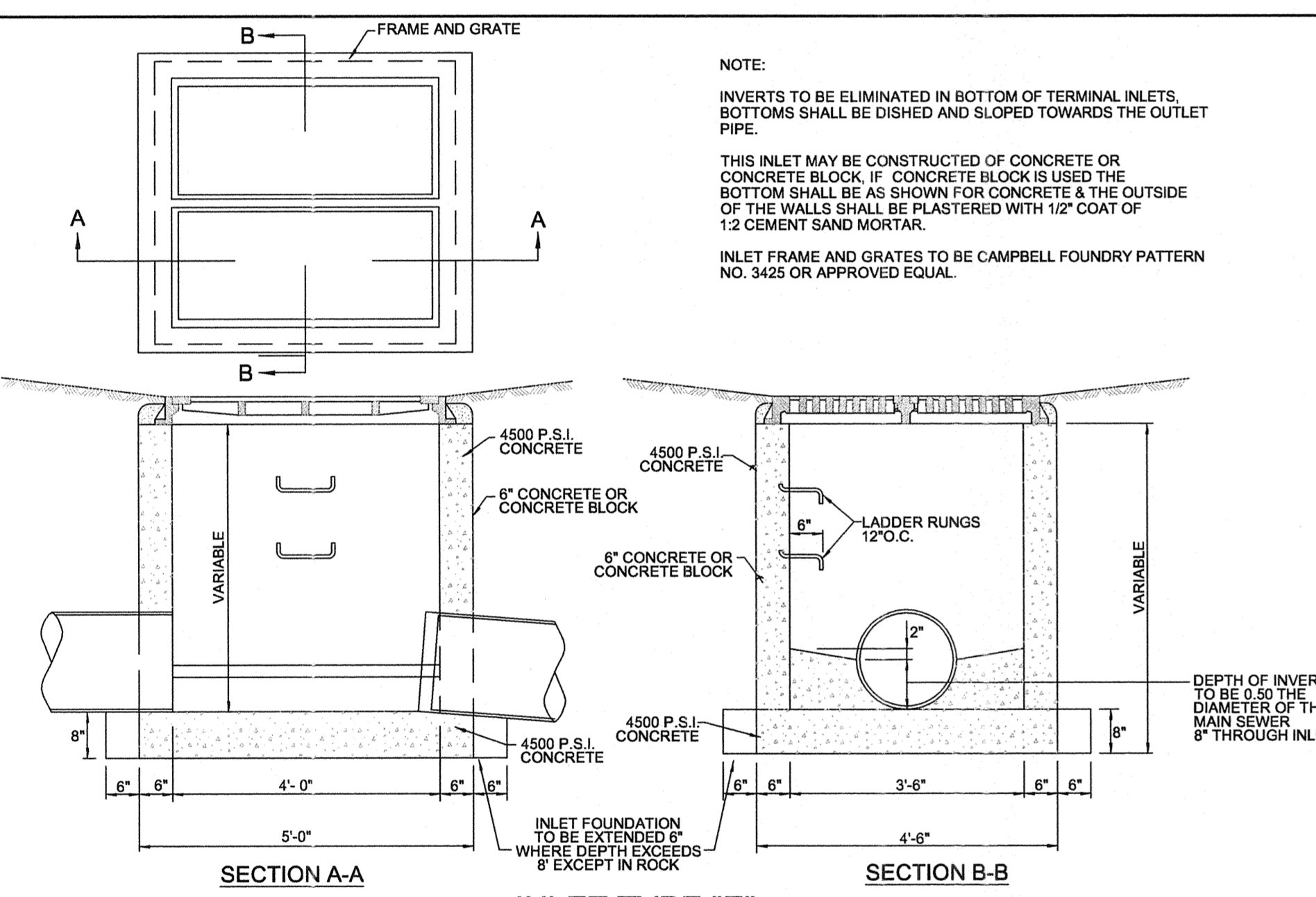
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NJ CERTIFICATE OF AUTHORIZATION NO. 24GA28032900

TWT

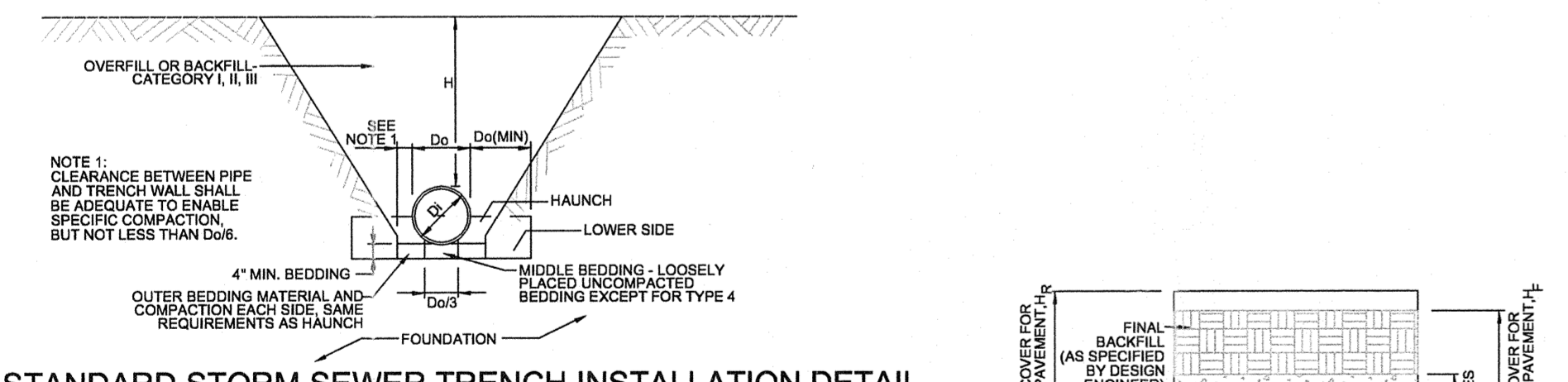
SCALE: 1"=50' DATE: 8/17/2020 DRAWING NO: 2020-17854-WARESP2 SHEET: 10 of 13



INLET TYPE "B" TYPE "N" CURB PIECE
NOT TO SCALE



INLET TYPE "E"
NOT TO SCALE

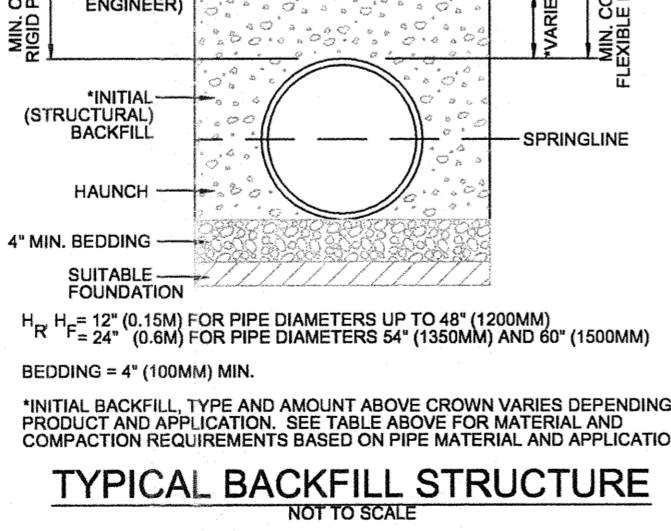


STANDARD STORM SEWER TRENCH INSTALLATION DETAIL

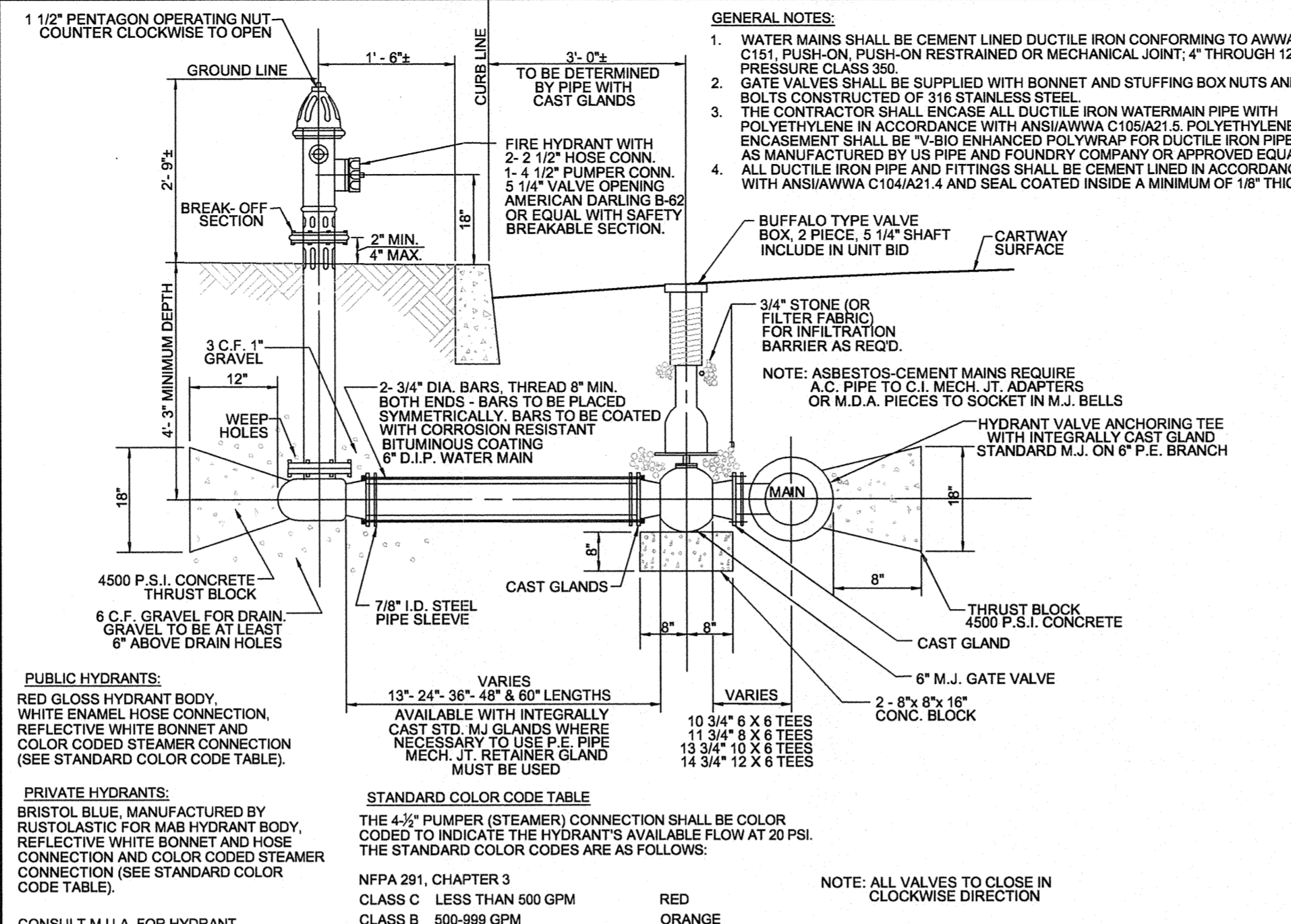
SOILS AND MINIMUM COMPACTION REQUIREMENTS

INSTALLATION TYPE	BEDDING THICKNESS	HAUNCH AND OUTER BEDDING	LOWER SIDE
Type 1	Do/24 minimum; not less than 3 in. If rock foundation, use Do/12 minimum; not less than 6 in.	95% Category I	Undisturbed natural soil with firmness equivalent to the following glazed soils: 80% Category I, 95% Category II or 100% Category III or embankment to the same requirements.
Type 2	Do/24 minimum; not less than 3 in. If rock foundation, use Do/12 minimum; not less than 6 in.	90% Category I or 95% Category II	Undisturbed natural soil with firmness equivalent to the following glazed soils: 80% Category I, 90% Category II or 95% Category III or embankment to the same requirements.
Type 3	Do/24 minimum; not less than 3 in. If rock foundation, use Do/12 minimum; not less than 6 in.	85% Category I, 90% Category II, or 95% Category III	Undisturbed natural soil with firmness equivalent to the following glazed soils: 80% Category I, 90% Category II or 95% Category III or embankment to the same requirements.
Type 4	No bedding required, except if rock foundation, use Do/12 minimum; not less than 6 in.	No compaction required, except if Category III, use 85%	No compaction required, except if Category III, use 85%

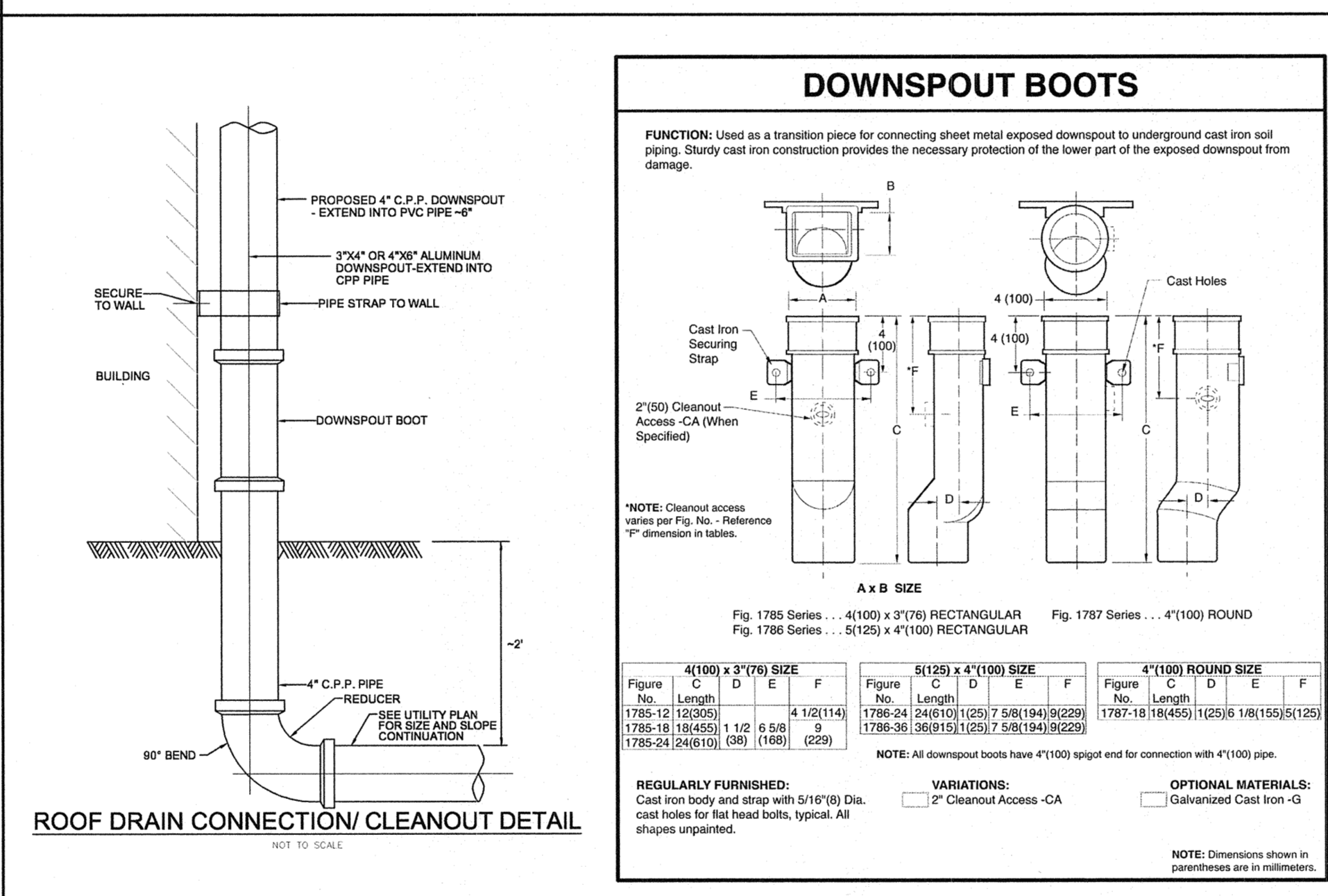
1. COMPACTION AND SOIL SYMBOLS, THAT IS, 95% CATEGORY I, REFER TO CATEGORY I SOIL MATERIAL WITH A MINIMUM STANDARD PROCTOR COMPACTION OF 95%.
2. THE TRENCH TOP ELEVATION SHALL BE NO LOWER THAN 6.1 H BELOW FINISHED GRADE OR, FOR ROADWAYS, ITS TOP SHALL BE NO LOWER THAN AN ELEVATION OF 1 FT BELOW THE BOTTOM OF THE PAVEMENT BASE MATERIAL.
3. WHEN THE TRENCH WIDTH SPECIFIED MUST BE EXCEEDED, THE ENGINEER SHALL BE NOTIFIED.
4. SOIL IN BEDDING AND HAUNCH ZONES SHALL BE COMPACTED TO AT LEAST THE SAME COMPACTION SPECIFIED FOR THE MAJORITY OF SOIL IN THE BACKFILL ZONE.
5. THE TRENCH WIDTH SHALL BE WIDER THAN SHOWN IF REQUIRED FOR ADEQUATE SPACE TO ATTAIN THE SPECIFIED COMPACTION IN THE HAUNCH AND BEDDING ZONES.
6. FOR TRENCH WALLS THAT ARE WITHIN 10 DEGREES OF VERTICAL, THE COMPACTION OR FIRMNESS OF THE SOIL IN THE TRENCH WALLS AND LOWER SIDE ZONE NEED NOT BE CONSIDERED. SEE NOTE 3.
7. FOR TRENCH WALLS WITH GREATER THAN 10 DEGREE SLOPES THAT CONSIST OF EMBANKMENT, THE LOWER SIDE SHALL BE COMPACTED TO AT LEAST THE SAME COMPACTION AS SPECIFIED FOR THE SOIL IN THE BACKFILL ZONE. SEE NOTE 3.
8. REQUIRED BEDDING THICKNESS IS THE THICKNESS OF THE BEDDING AFTER THE PLACEMENT OF THE PIPE ON THE BEDDING AND PRIOR TO THE PLACEMENT OF THE BACKFILL.



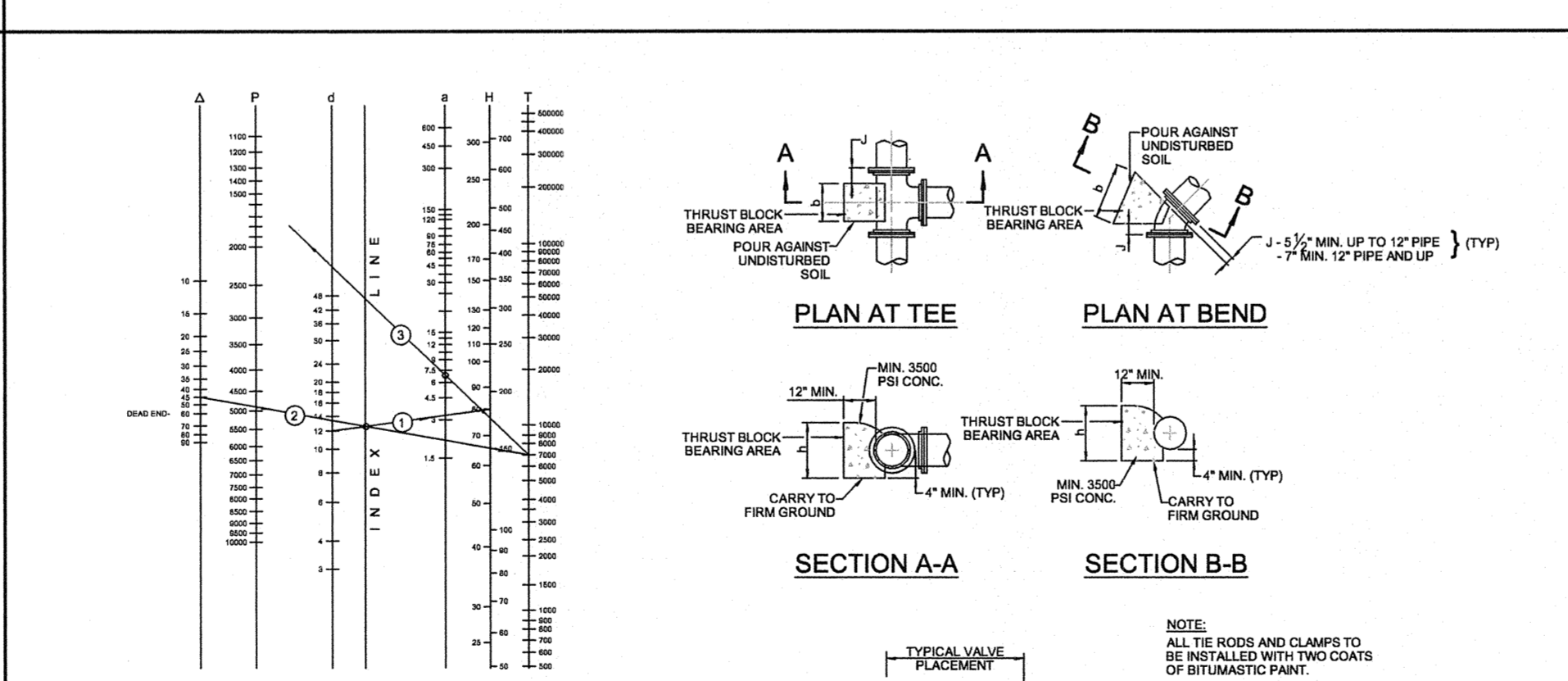
TYPICAL BACKFILL STRUCTURE
NOT TO SCALE



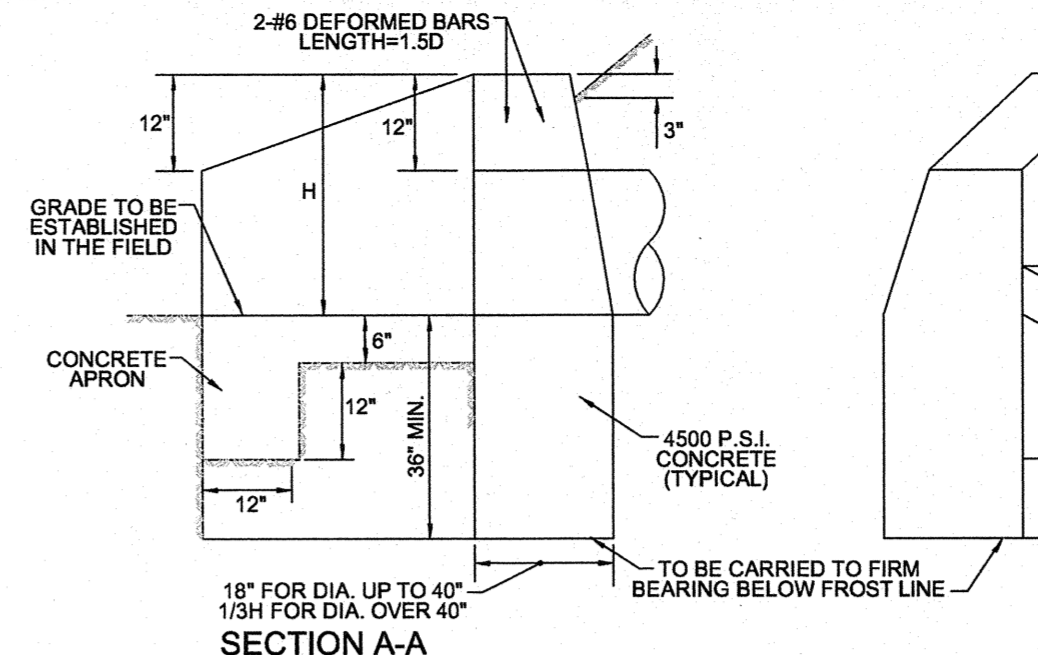
TYPICAL FIRE HYDRANT CONNECTION
NOT TO SCALE



DOWNSPOUT BOOTS



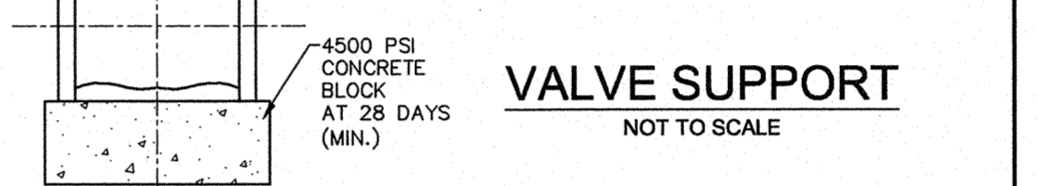
THRUST BLOCK DETAIL
NOT TO SCALE



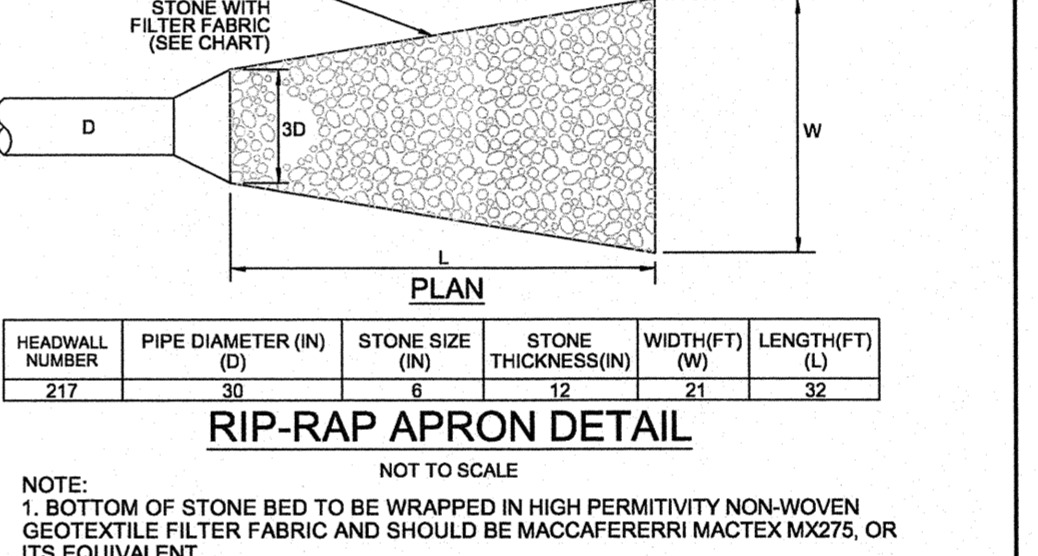
RIP-RAP APRON DETAIL
NOT TO SCALE

HEADWALL QUANTITY IN CUBIC YARDS

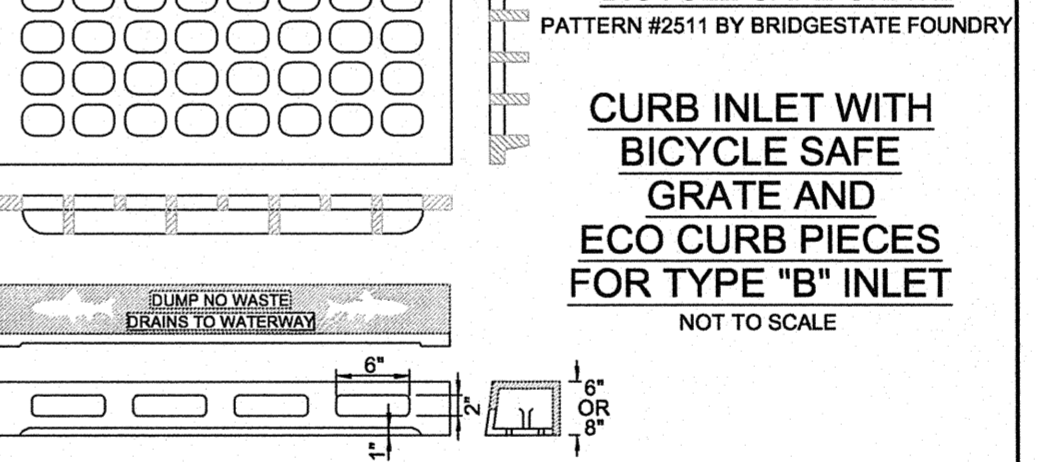
PIPE SIZE	CORR. METAL PIPE	REINF. CONC. PIPE	APRON IN CUBIC YARDS
12"	1.6 C.Y.	1.7 C.Y.	0.4 C.Y.
15"	2.0 C.Y.	2.1 C.Y.	0.5 C.Y.
18"	2.4 C.Y.	2.5 C.Y.	0.6 C.Y.
21"	2.8 C.Y.	3.0 C.Y.	0.8 C.Y.
24"	3.2 C.Y.	3.4 C.Y.	1.0 C.Y.
27"	3.6 C.Y.	3.8 C.Y.	1.2 C.Y.
30"	4.0 C.Y.	4.2 C.Y.	1.4 C.Y.
36"	4.8 C.Y.	5.0 C.Y.	1.7 C.Y.
42"	5.6 C.Y.	5.8 C.Y.	2.0 C.Y.
48"	6.4 C.Y.	6.6 C.Y.	2.3 C.Y.
54"	7.2 C.Y.	7.4 C.Y.	2.6 C.Y.
60"	8.0 C.Y.	8.2 C.Y.	2.9 C.Y.
66"	8.8 C.Y.	9.0 C.Y.	3.2 C.Y.
72"	9.6 C.Y.	9.8 C.Y.	3.5 C.Y.



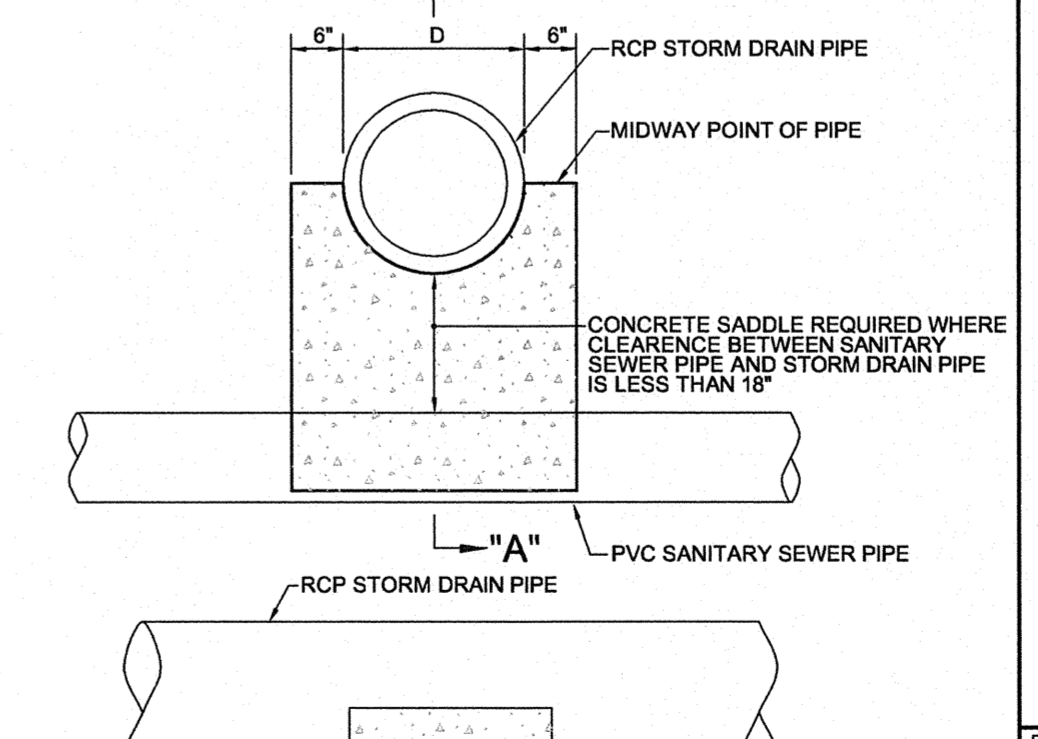
VALVE SUPPORT
NOT TO SCALE



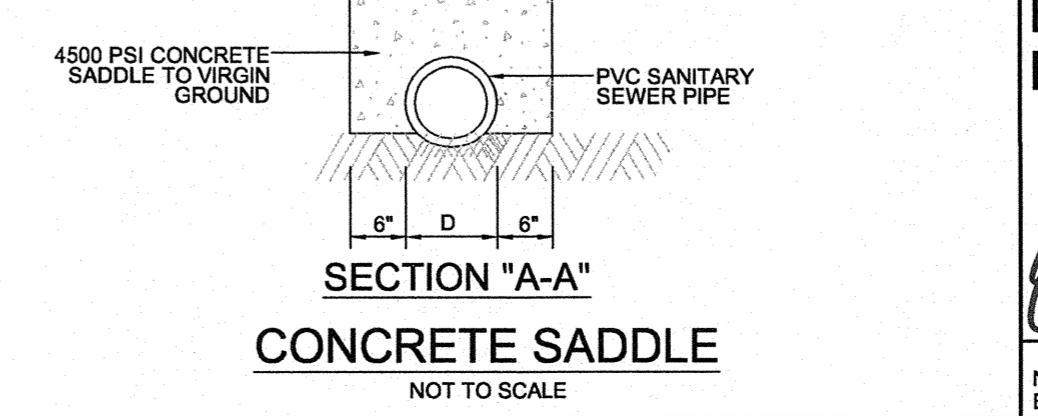
BICYCLE SAFE GATE
PATTERN #2511 BY BRIDGESTATE FOUNDRY



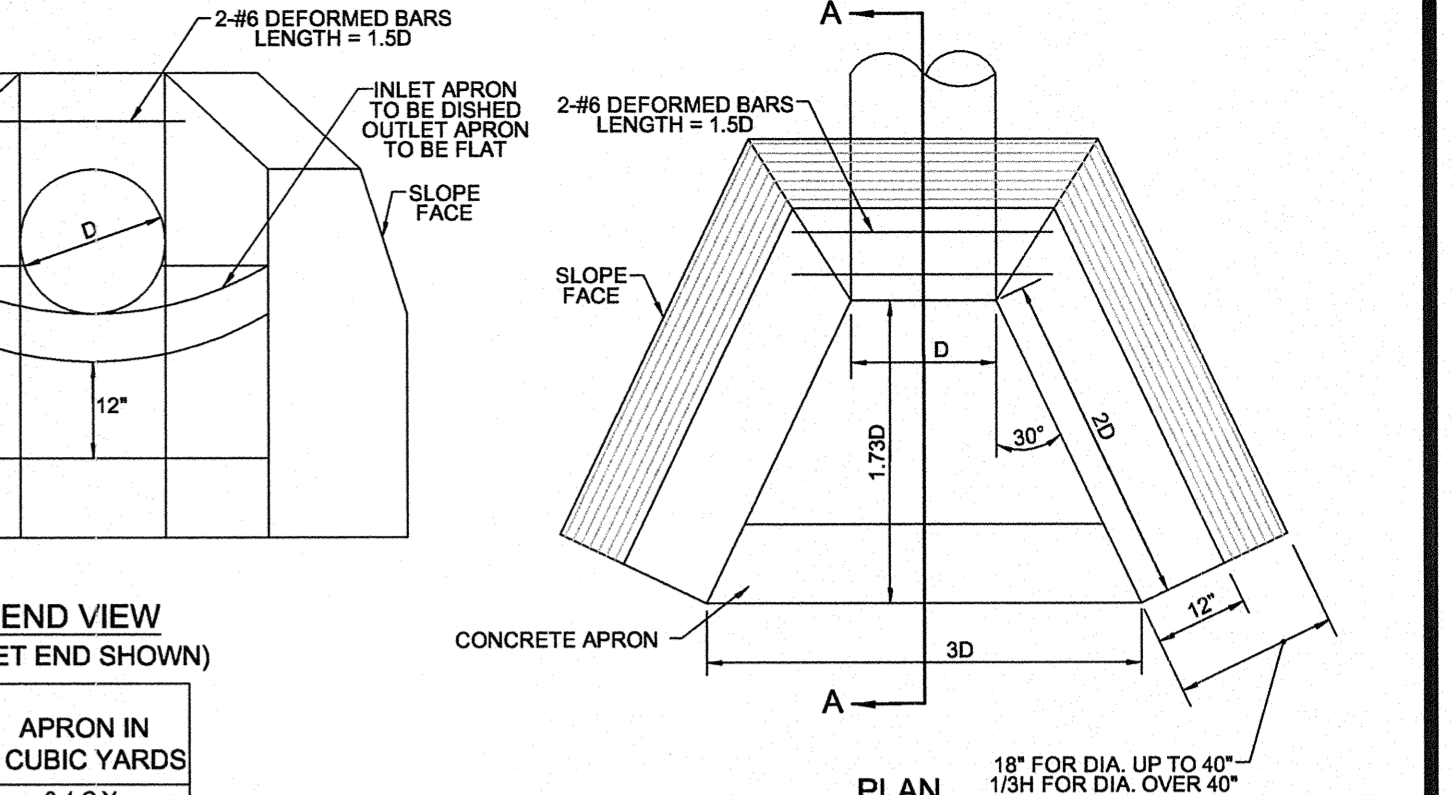
CURB INLET WITH BICYCLE SAFE
GRATE AND ECO CURB PIECES FOR TYPE "B" INLET



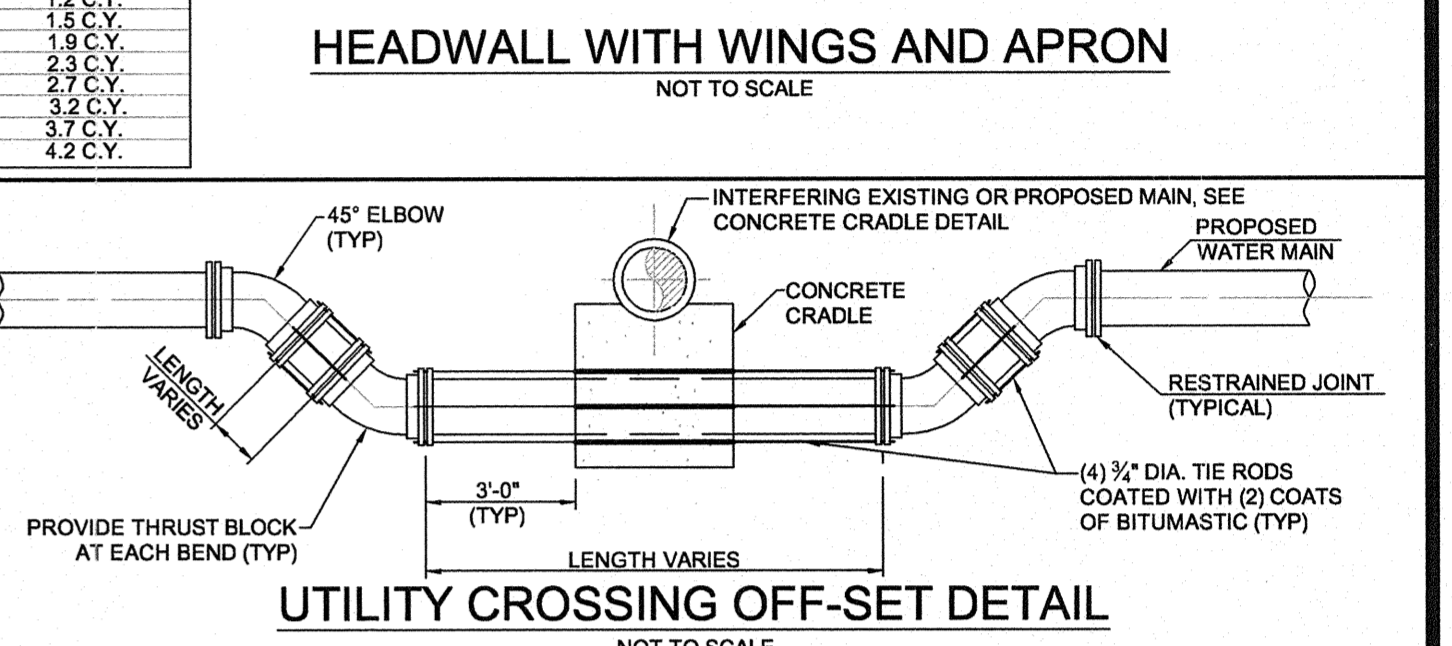
TYPICAL SEWER LATERAL CONNECTION
NOT TO SCALE



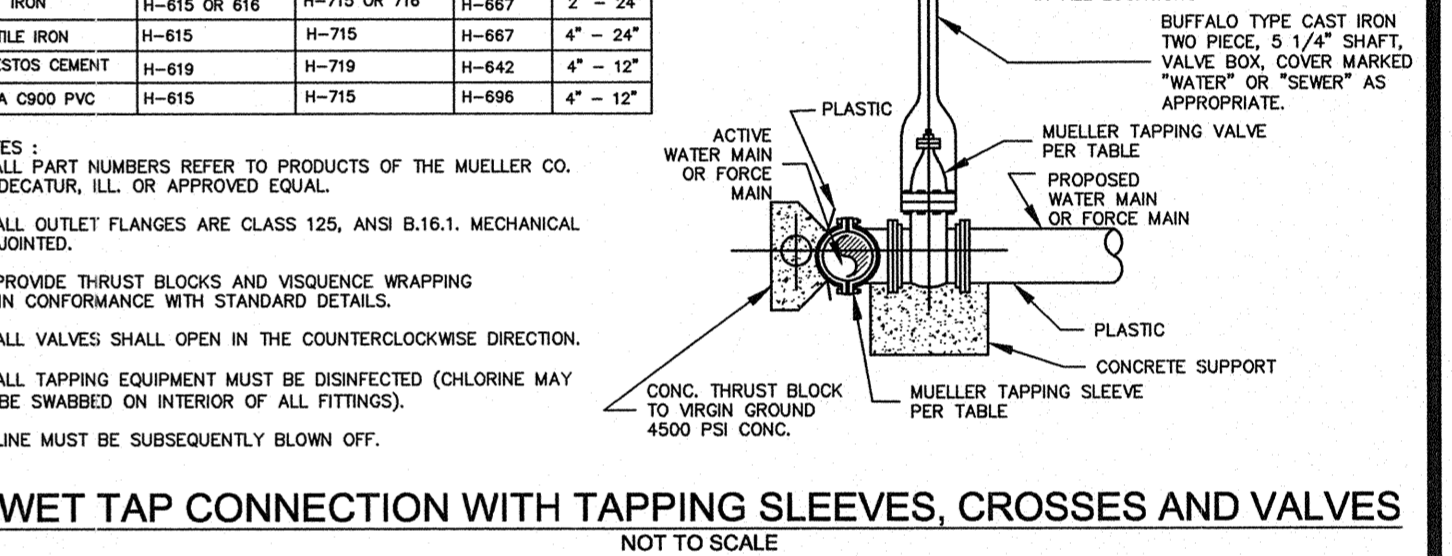
CONCRETE SADDLE
NOT TO SCALE



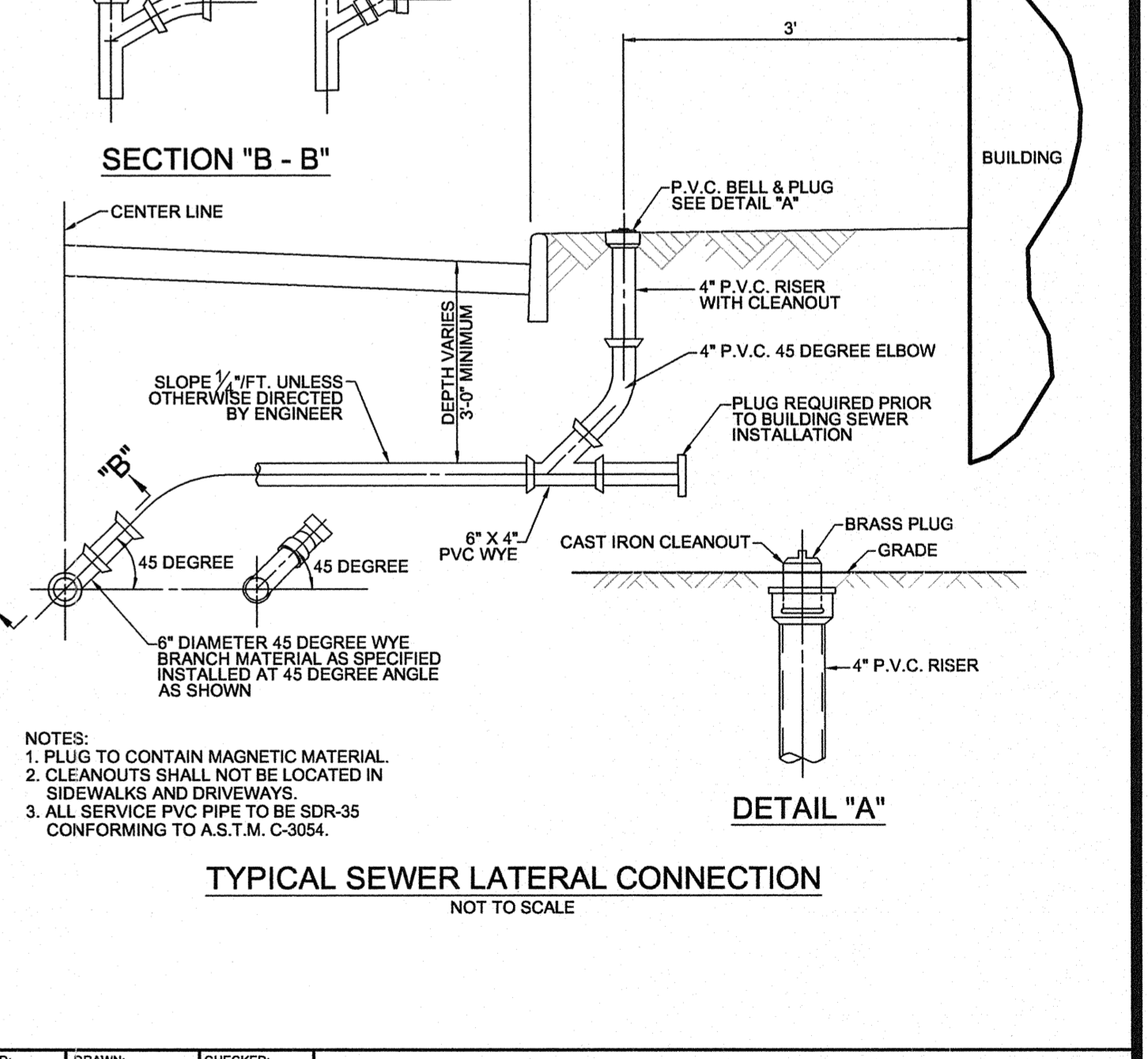
HEADWALL WITH WINGS AND APRON
NOT TO SCALE



UTILITY CROSSING OFF-SET DETAIL
NOT TO SCALE



WET TAP CONNECTION WITH TAPPING SLEEVES, CROSSES AND VALVES
NOT TO SCALE



TYPICAL BACKFILL STRUCTURE
NOT TO SCALE

CONSTRUCTION DETAILS

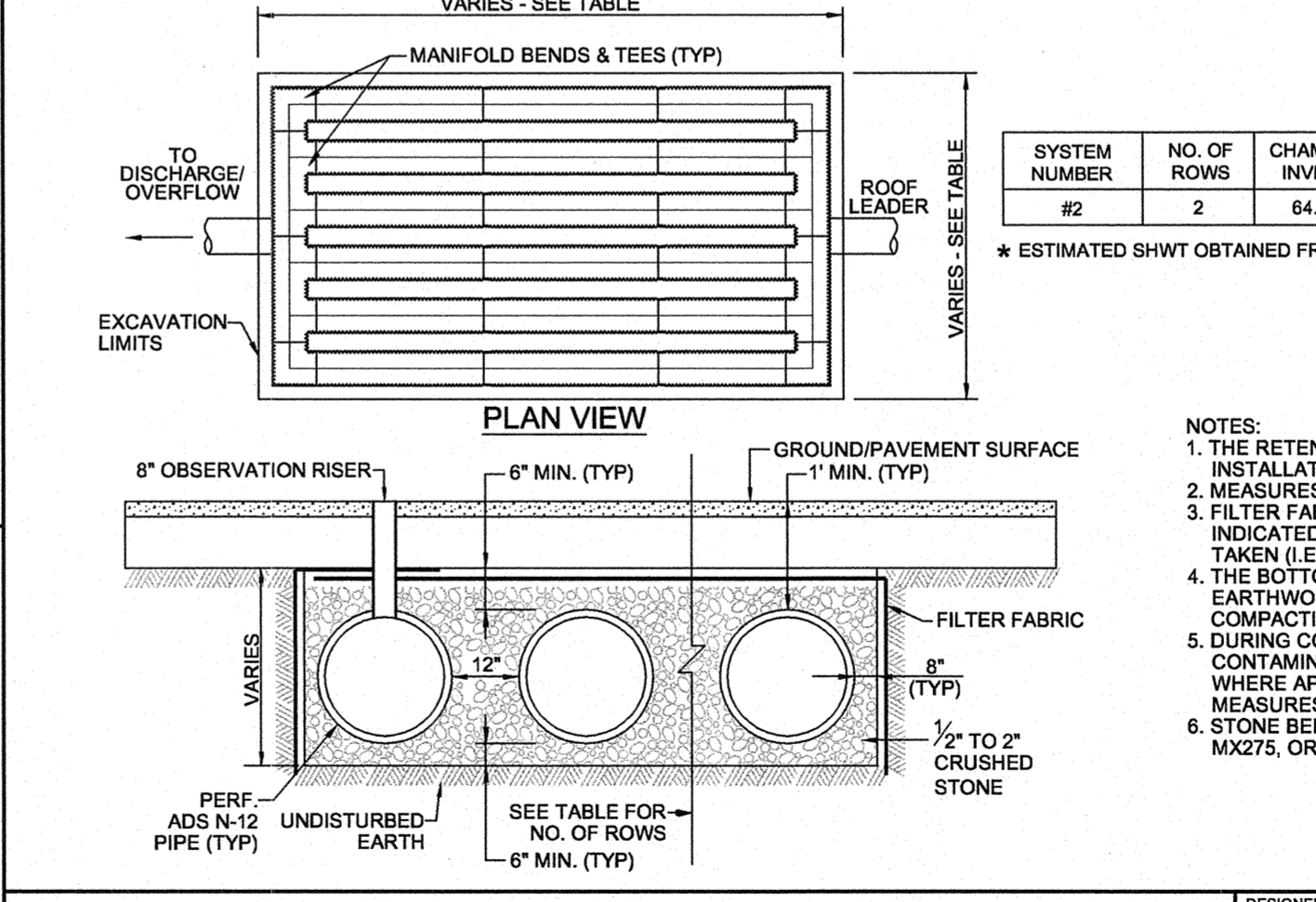
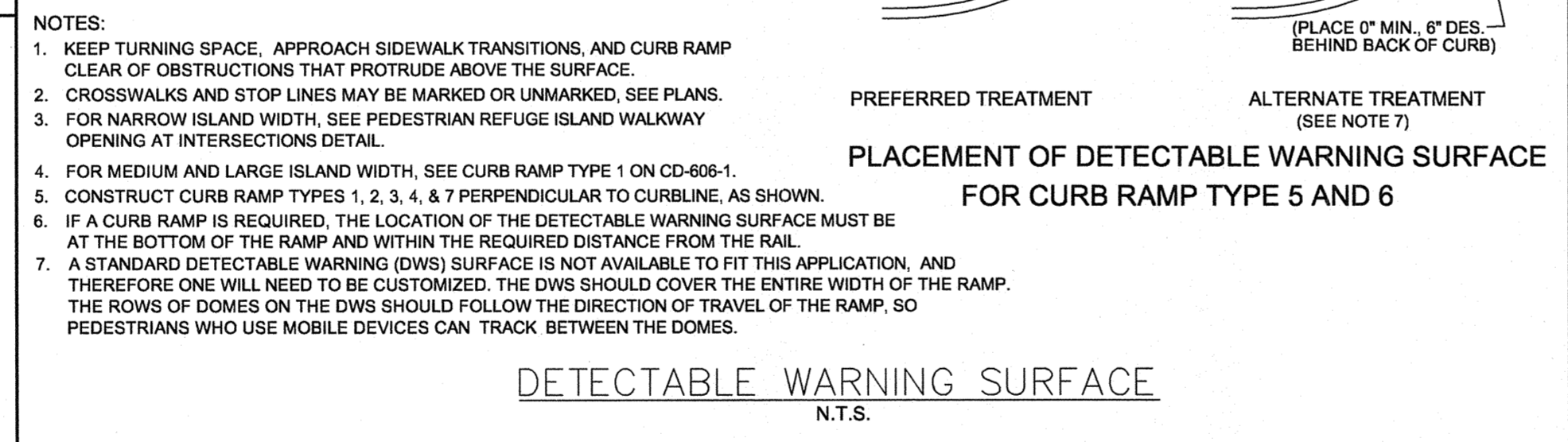
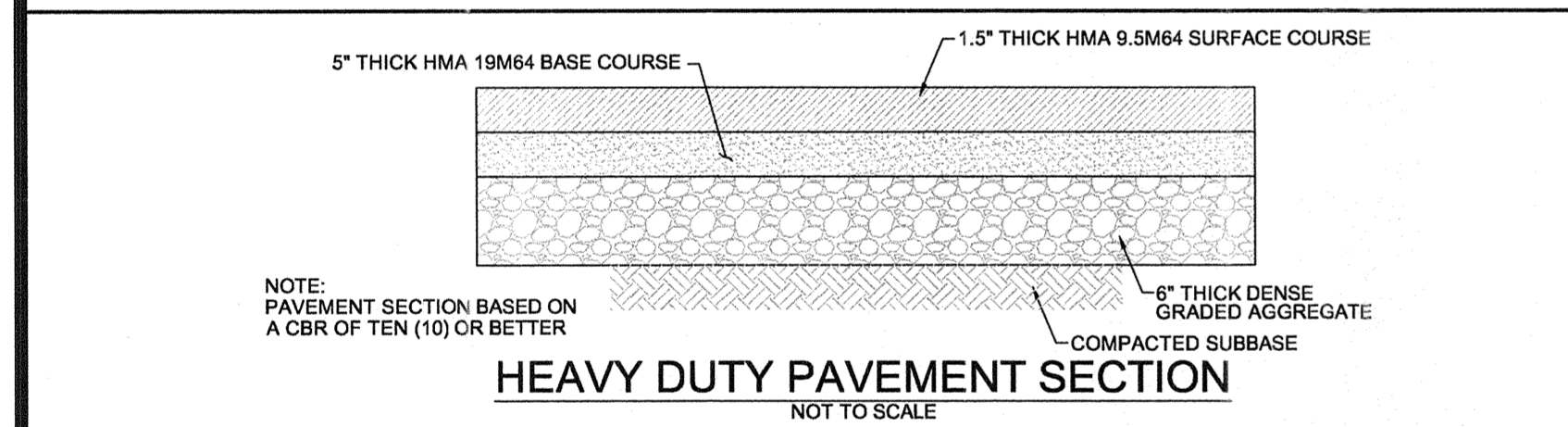
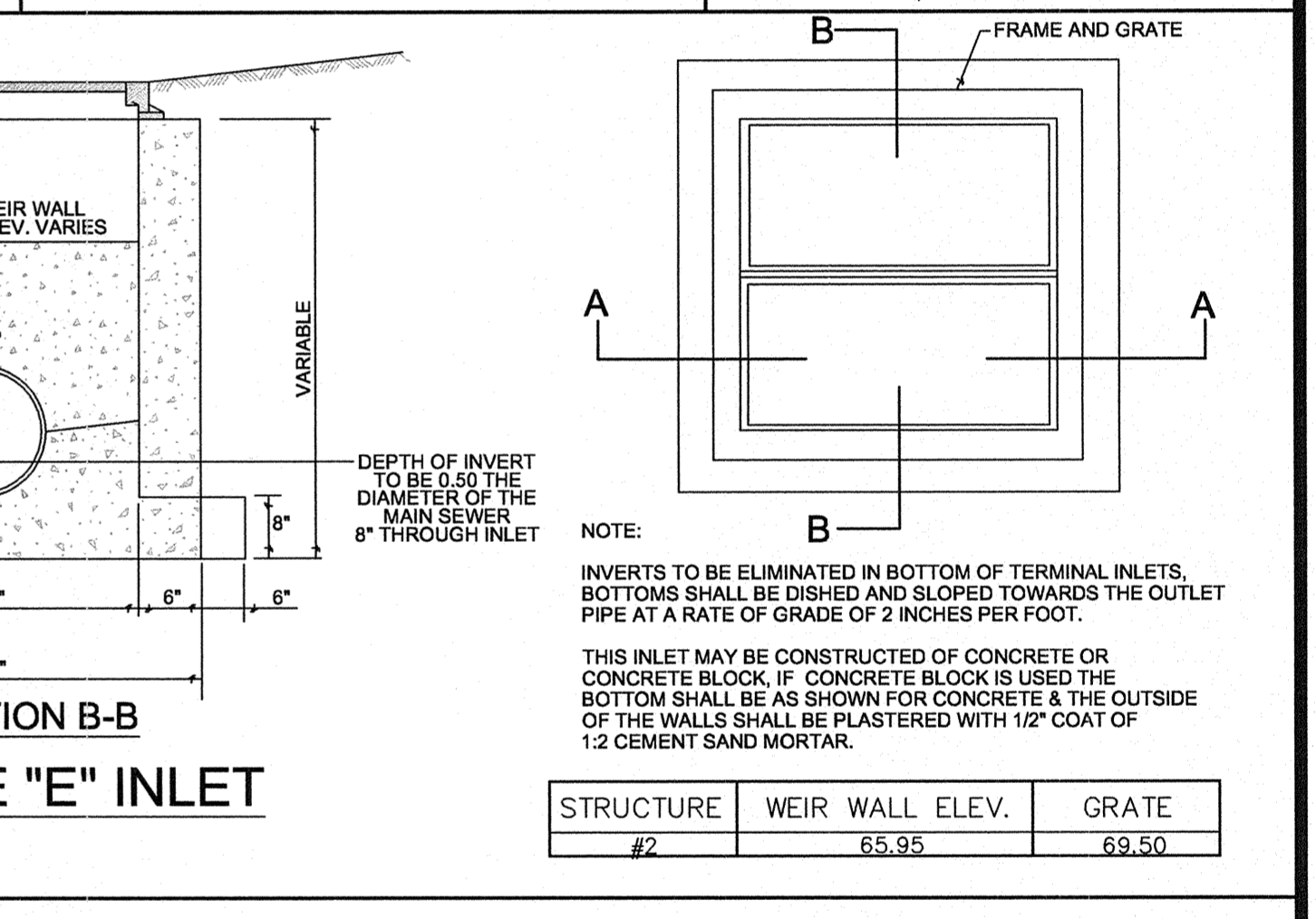
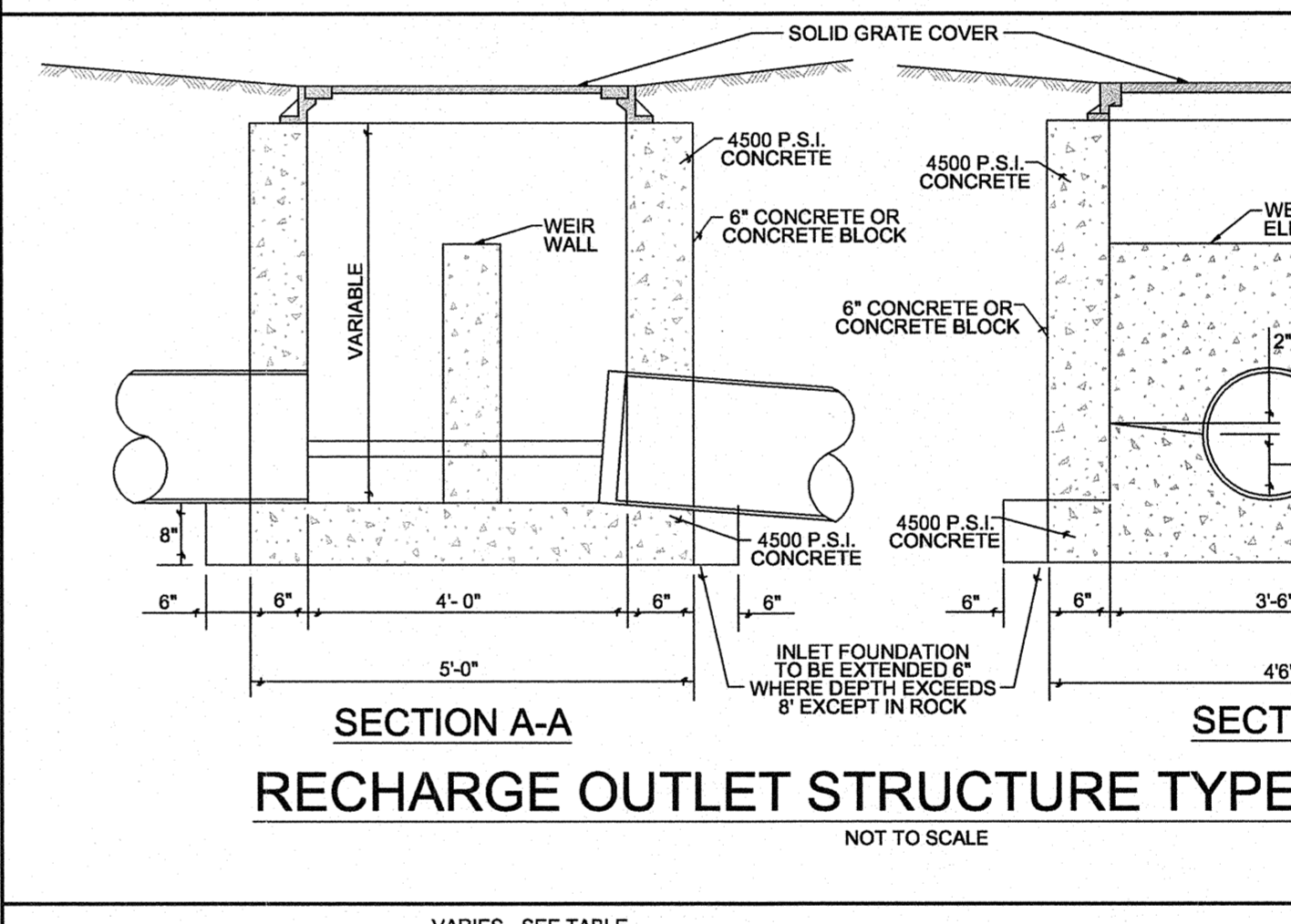
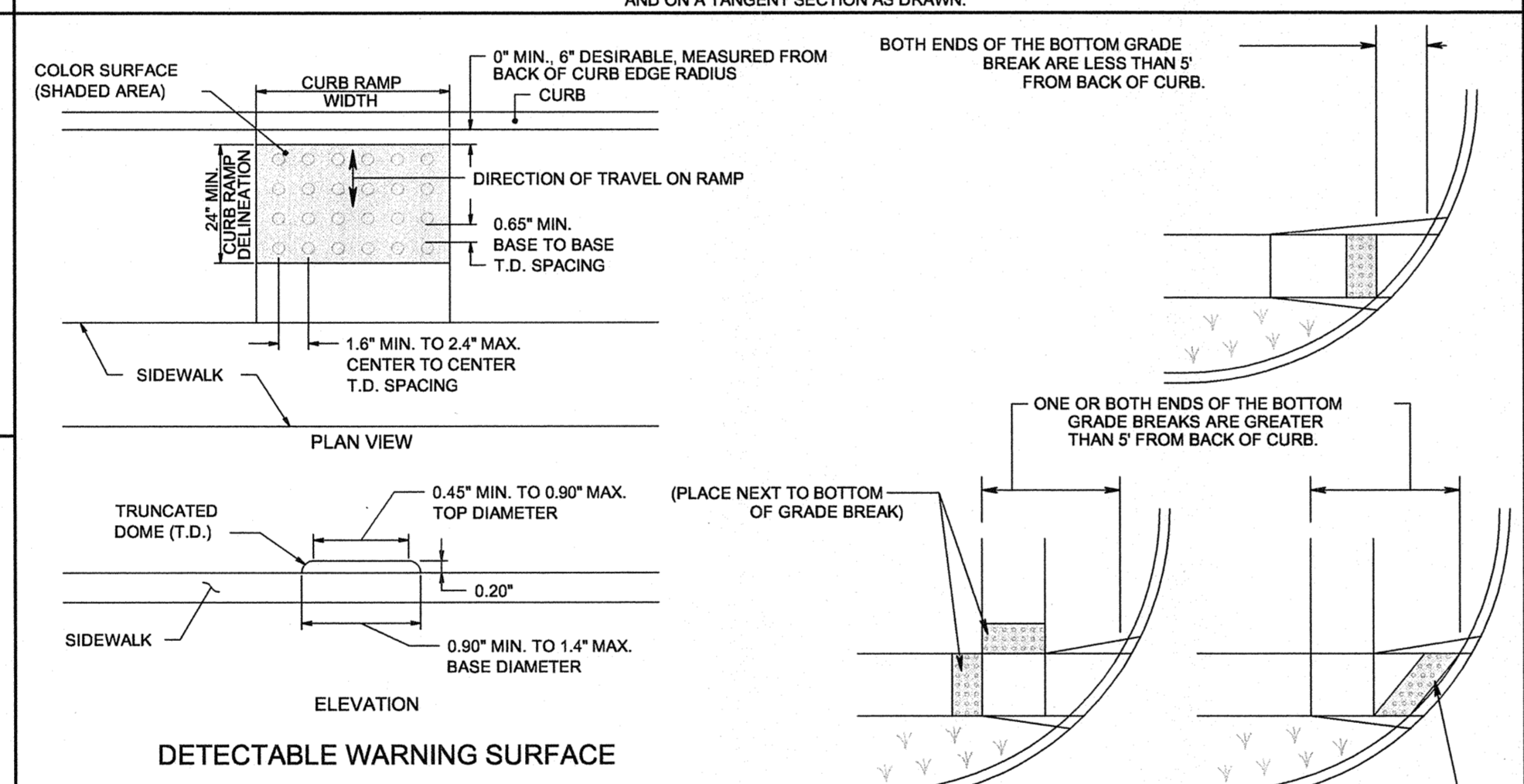
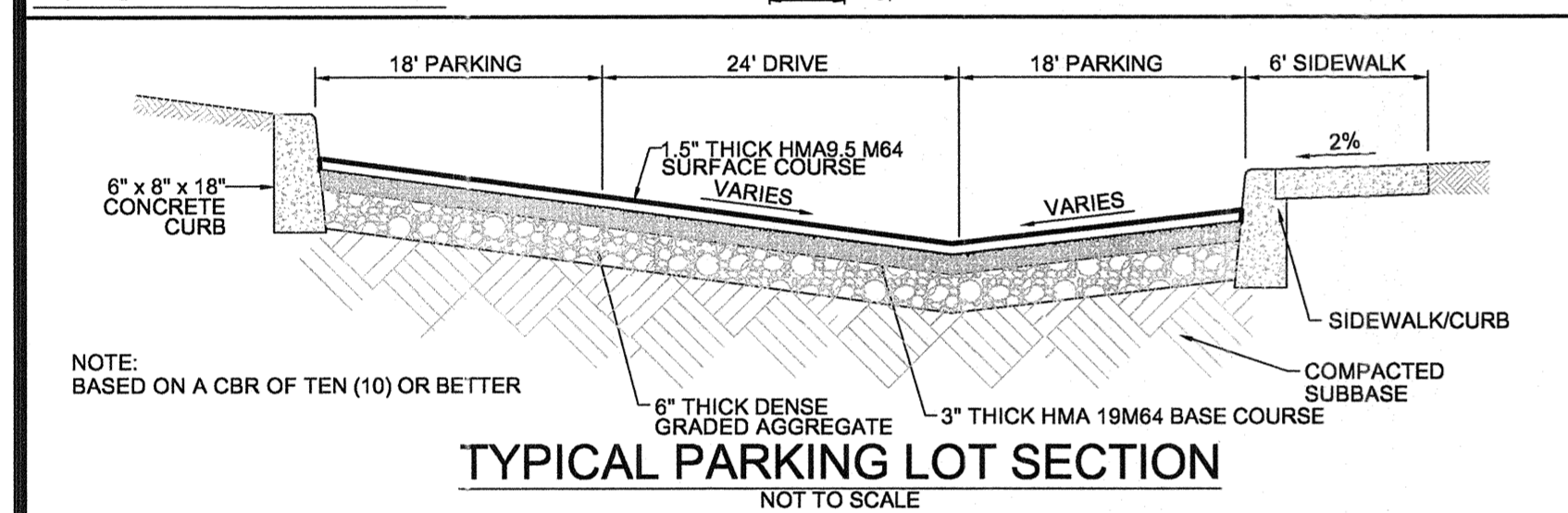
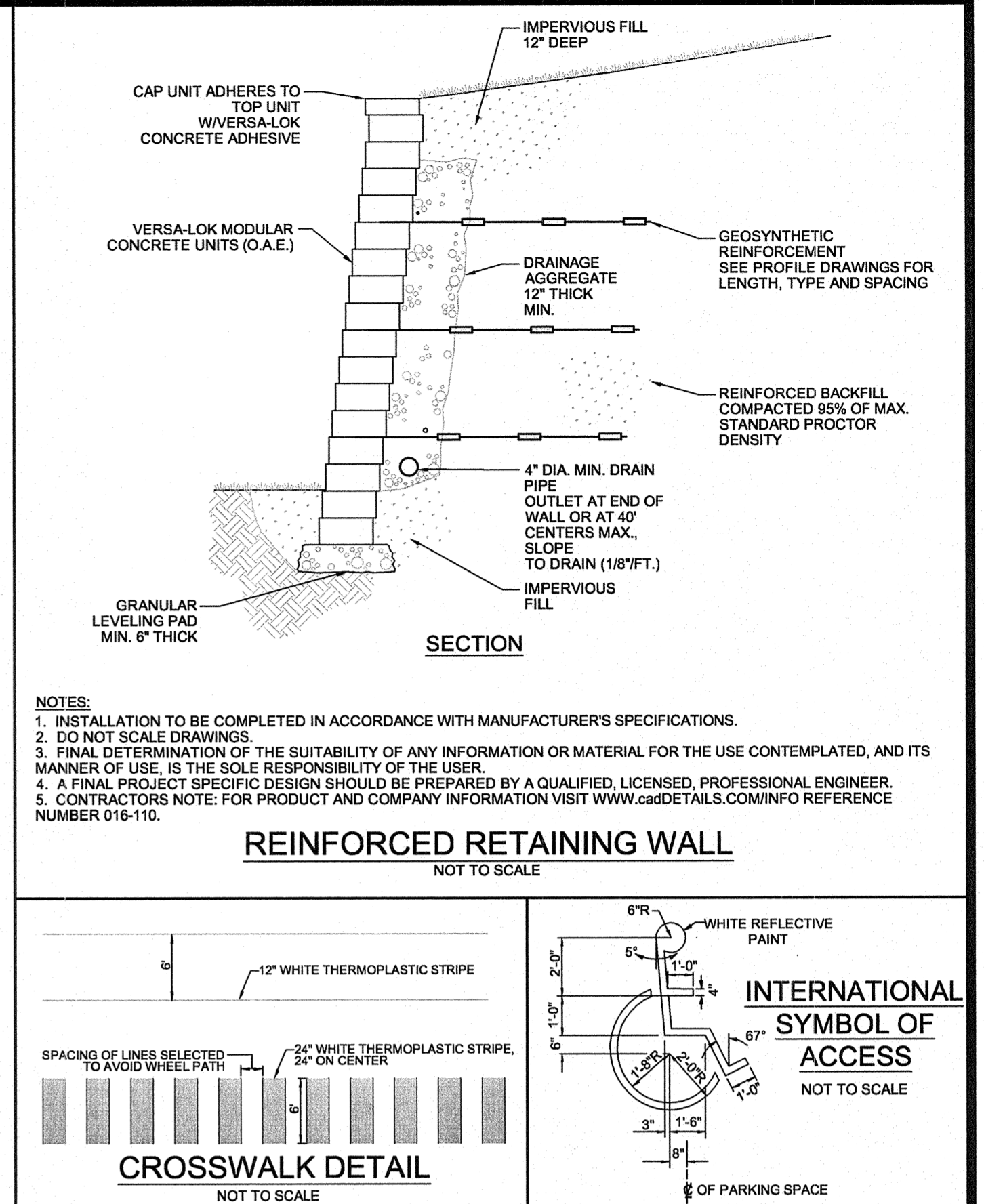
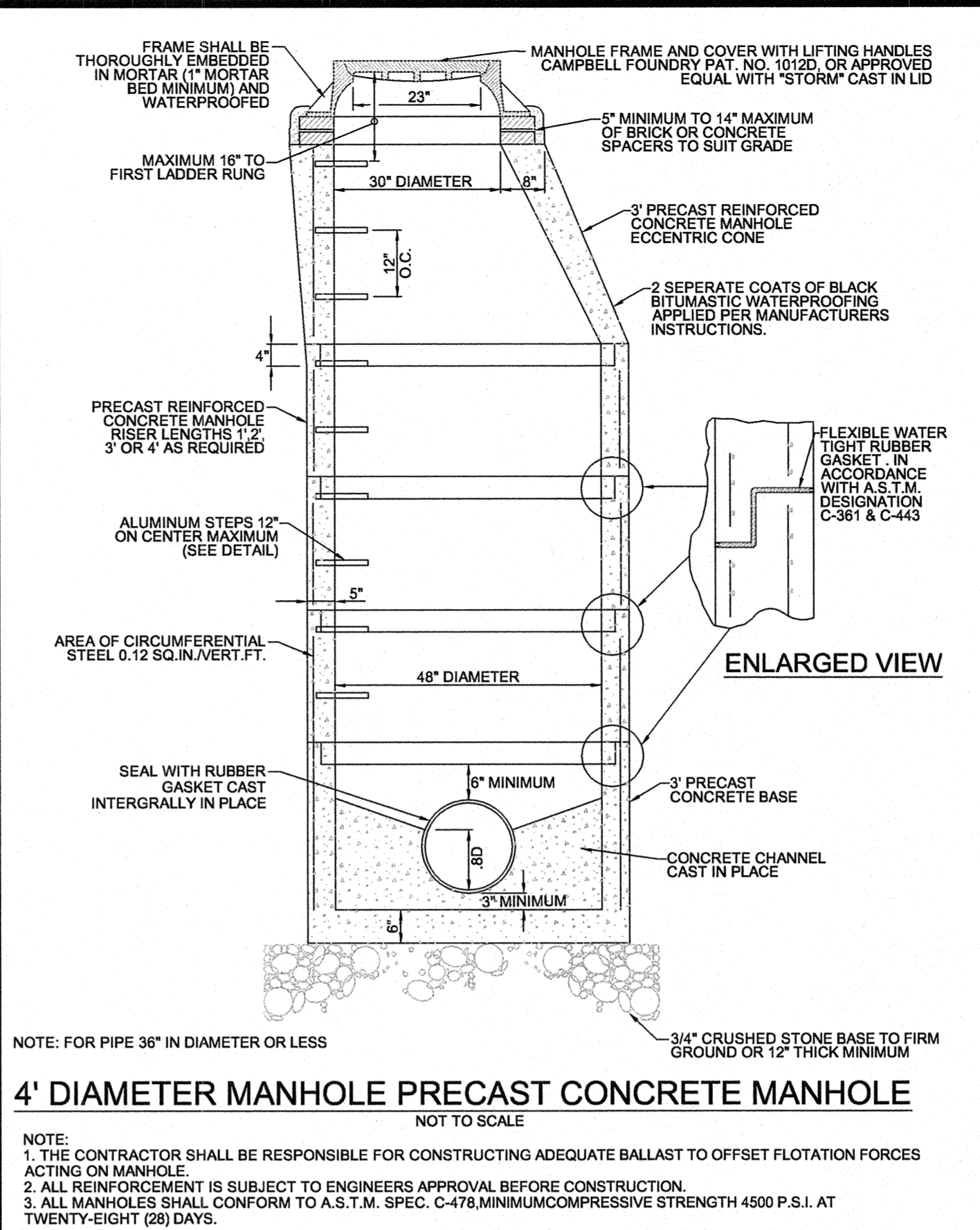
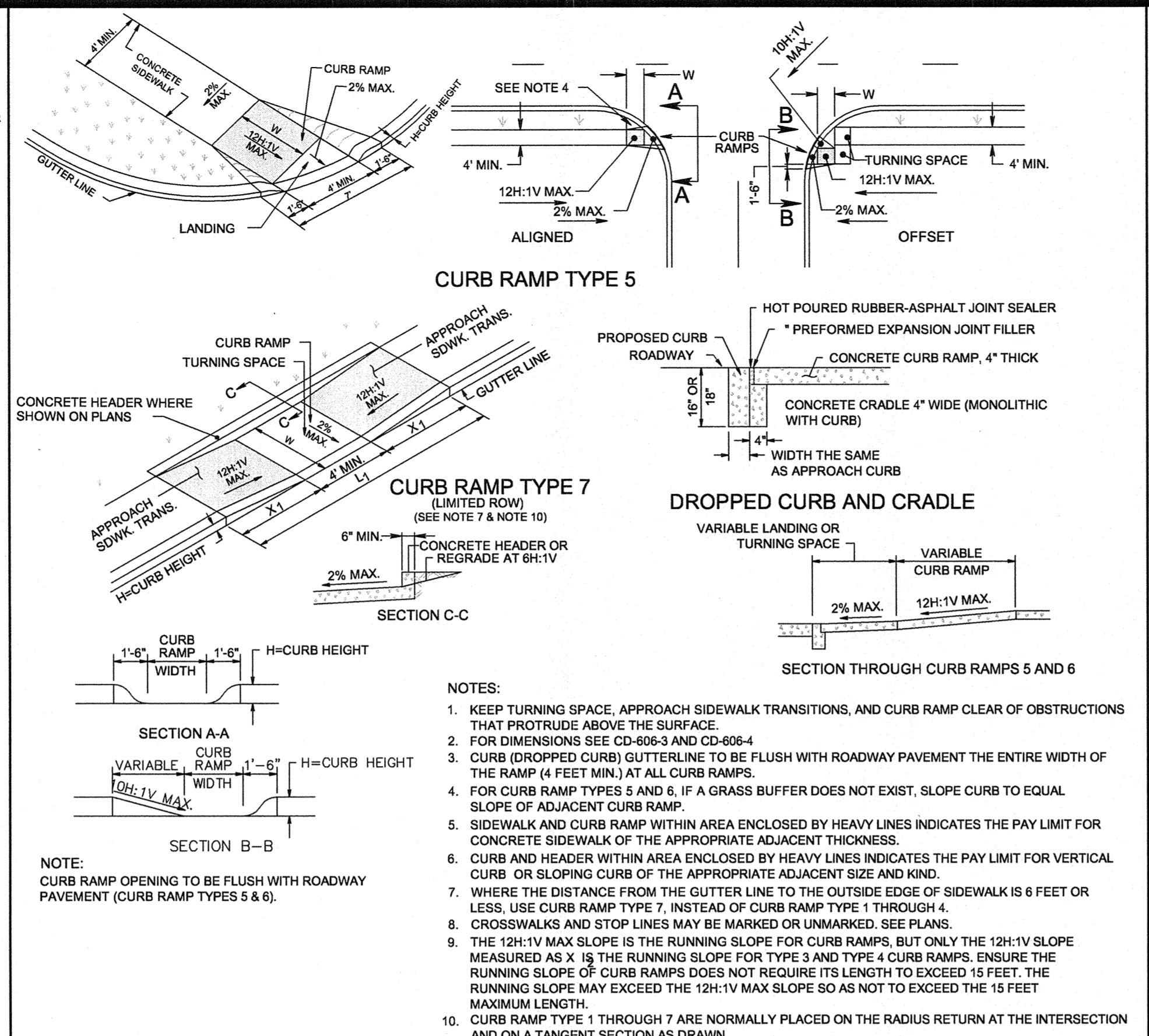
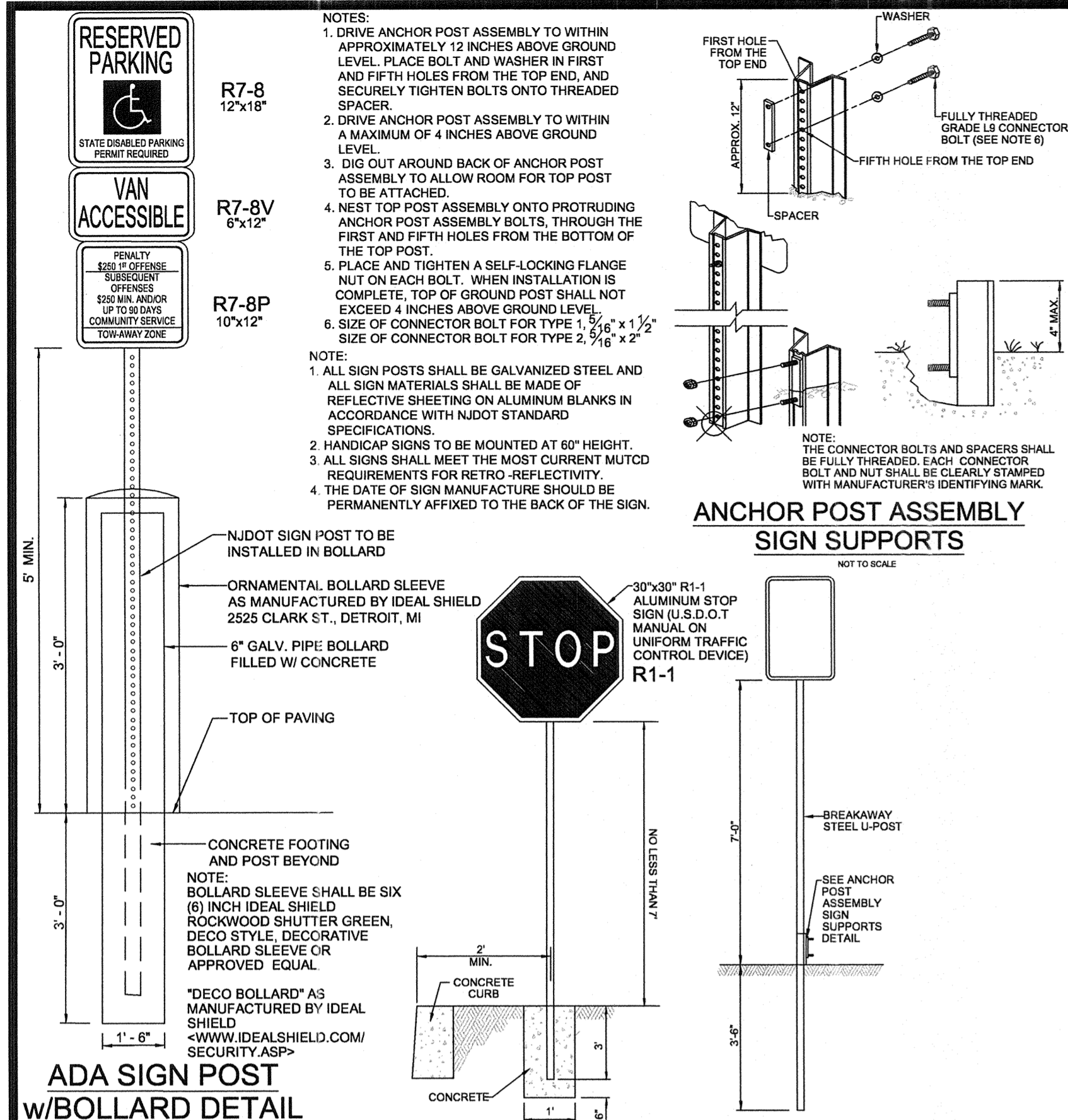
DESIGNED: VAW
DATE: 8-17-20
DRAWN: AMH
CHECKED: EBR
REVISIONS: NO. DATE

EDWARD P. BRADY

WOODCREST STATION BUSINESS PARK
101 WALTER A. GAINES WAY
PLATE 7.01, BLOCK 601, LOT 1
BLOCK 601, LOTS 1.01, 1.02, & 1.03
BOROUGH OF LAWNSIDE, CAMDEN COUNTY, NJ

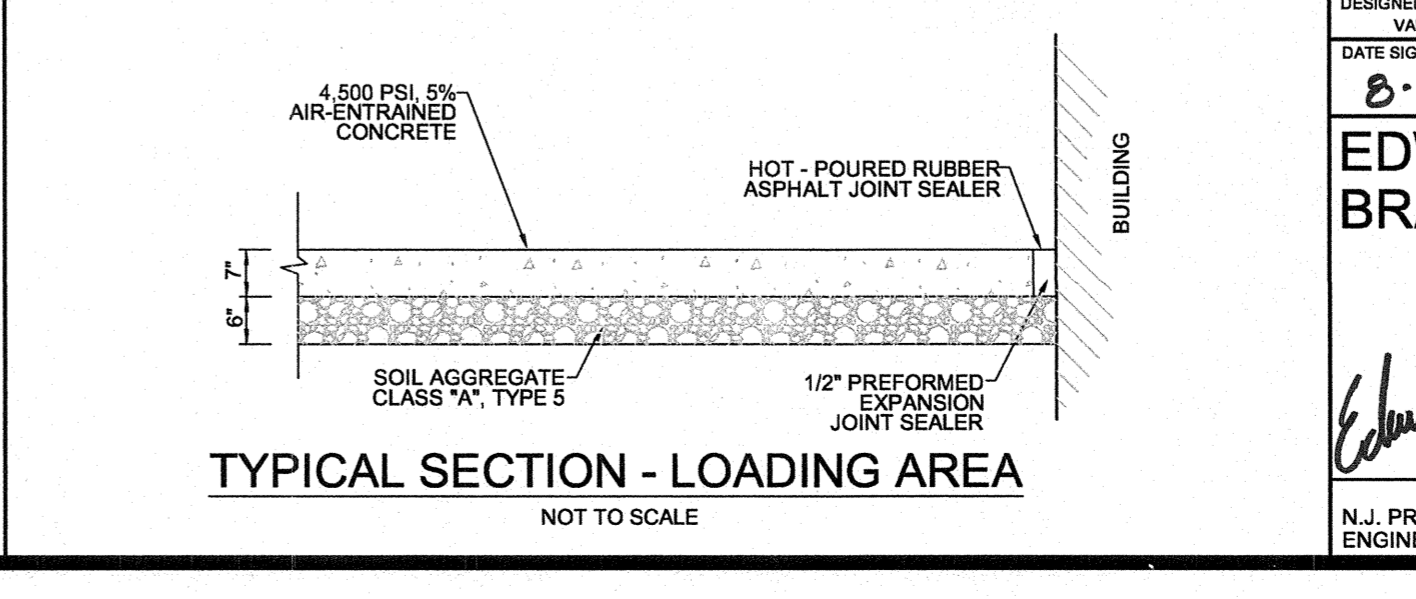
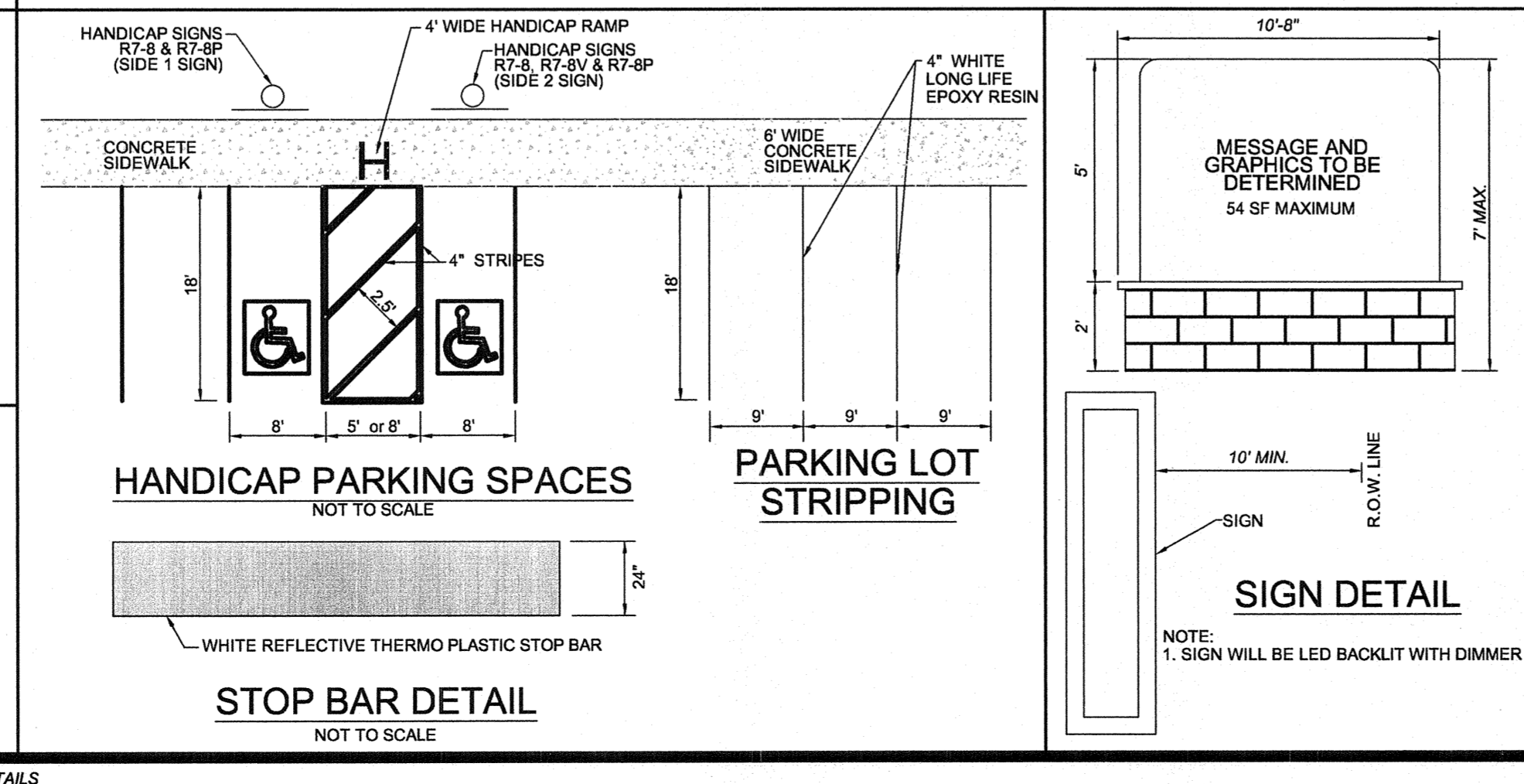
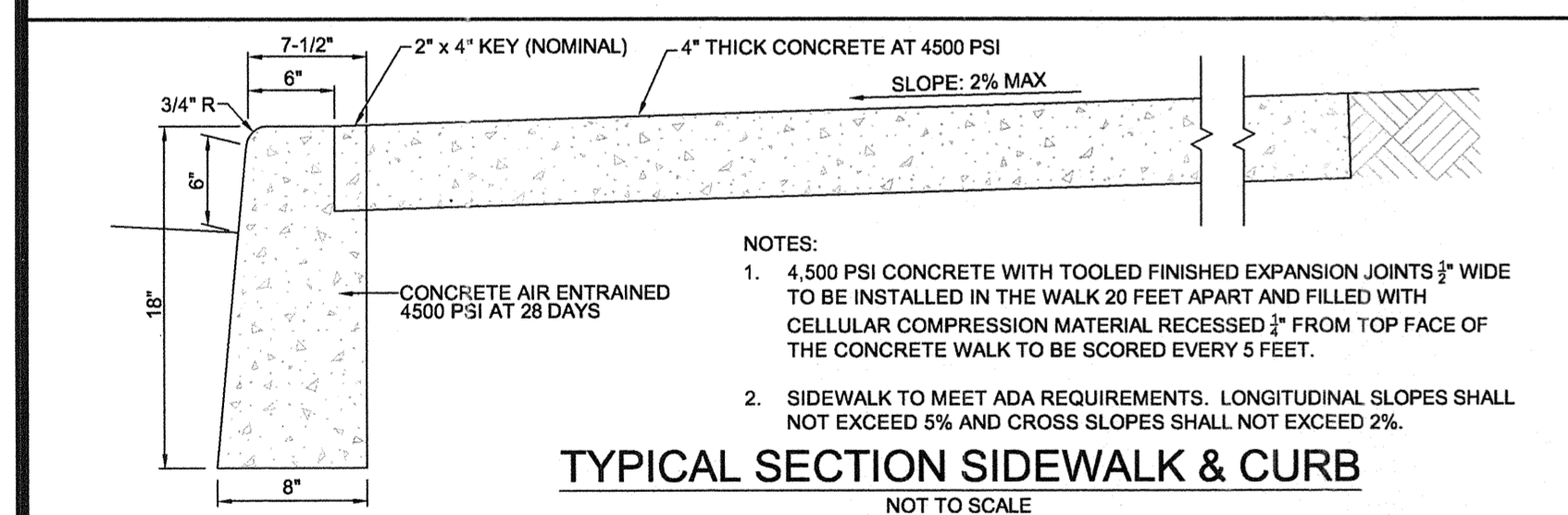
Taylor Wiseman & Taylor
ENGINEERS / SURVEYORS / SCIENTISTS
124 Gaither Drive, Suite 150, Mt Laurel, NJ 08054
TELEPHONE: (856) 235-7200 FAX: (856) 722-9250
www.taylorwiseman.com
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA28032900

SCALE: AS SHOWN
DATE: 8/17/2020
DRAWING NO: 2020-17854-WARESP2
SHEET: 11 OF 13



SYSTEM NUMBER	NO. OF ROWS	CHAMBER INVERT	CHAMBER SIZE	BARREL LENGTH	STONE ENCASMENT INVERT	TP NO. & ESHWT ELEVATION	WQ WATER SURFACE ELEVATION	DESIGN PERMEABILITY RATE (IN.HR.)	DRAIN TIME (HR.)
#2	2	64.00	30"	75'	63.50	*TP28-58.3	65.84	1.98	17.94

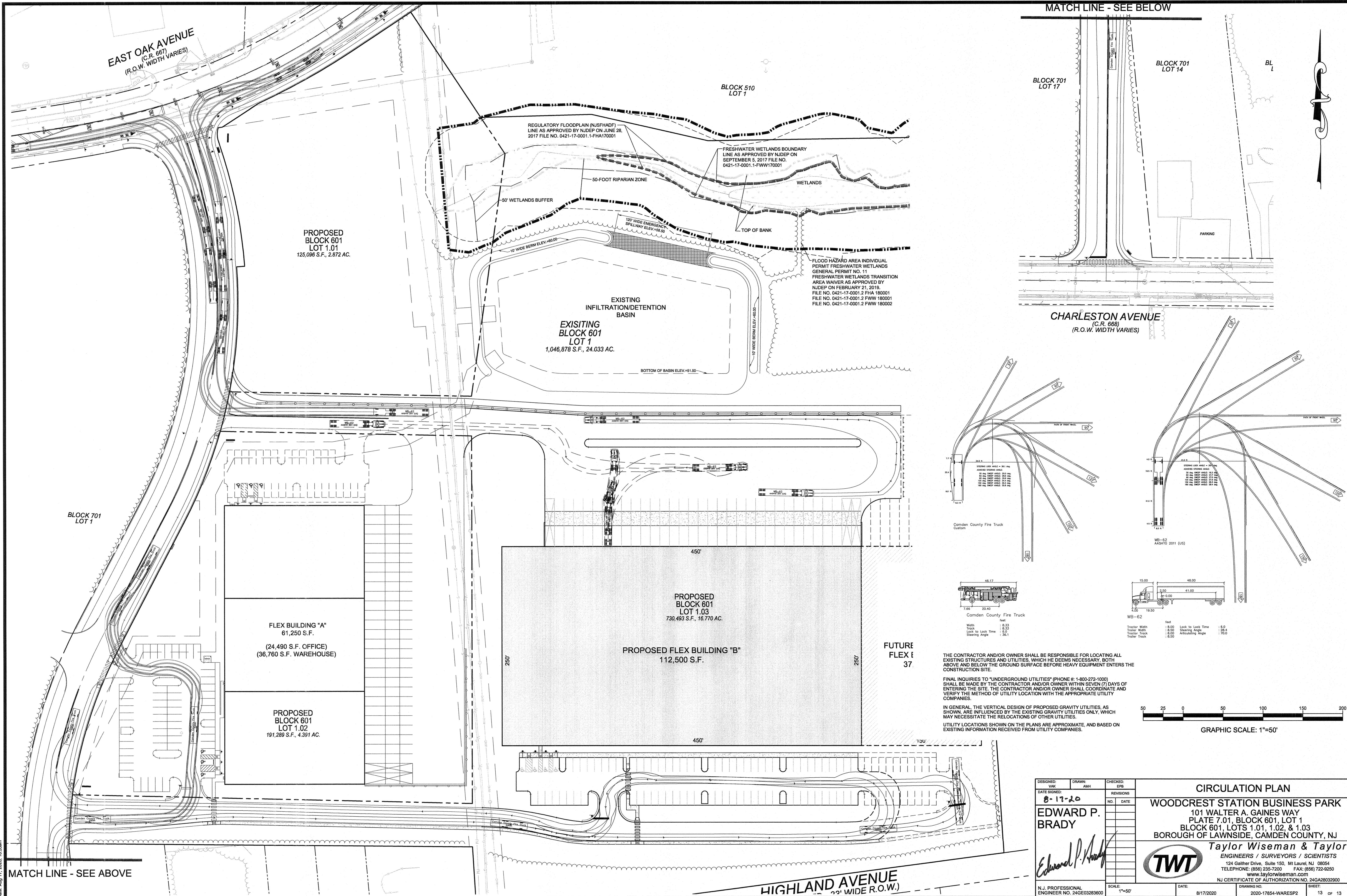
* ESTIMATED SHWT OBTAINED FROM THE SOIL CONSERVATION SERVICE COUNTY SOIL SURVEY REPORT.



CONSTRUCTION DETAILS
WOODCREST STATION BUSINESS PARK
101 WALTER A. GAINES WAY
PLATE 7.01, BLOCK 601, LOT 1
BLOCK 601, LOTS 1.01, 1.02, & 1.03
BOROUGH OF LAWNDSIDE, CAMDEN COUNTY, NJ

Taylor Wiseman & Taylor
ENGINEERS / SURVEYORS / SCIENTISTS
124 Gather Drive, Suite 150, Mt Laurel, NJ 08054
TELEPHONE: (856) 235-7200 FAX: (856) 722-9250
www.taylorwiseman.com
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA28032900

DESIGNED: WAK
DRAWN: AMH
CHECKED: EBR
DATE SIGNED: 8-17-20
EDWARD P. BRADY
SCALE: AS SHOWN
DATE: 8/17/2020
DRAWING NO. 2020-17854-WARES2
SHEET: 12 OF 13



EAST OAK AVENUE
(C.R. 667)
(R.O.W. WIDTH VARIES)

MATCH LINE - SEE BELOW

PROPOSED
BLOCK 601
LOT 1.01
125,096 S.F., 2.872 AC.

BLOCK 510
LOT 1

BLOCK 701
LOT 17

BLOCK 701
LOT 14

REGULATORY FLOODPLAIN (NJSHADP)
LINE AS APPROVED BY NJDEP ON JUNE 28,
2017 FILE NO. 0421-17-0001.1-FHA170001

FRESHWATER WETLANDS BOUNDARY
LINE AS APPROVED BY NJDEP ON
SEPTEMBER 5, 2017 FILE NO.
0421-17-0001.1-FWW170001

50-FOOT RIPARIAN ZONE

50' WETLANDS BUFFER

130' WIDE EMERGENCY
SPILLWAY ELEV.=69.50

TOP OF BANK

FLOOD HAZARD AREA INDIVIDUAL
PERMIT FRESHWATER WETLANDS
GENERAL PERMIT NO. 11
FRESHWATER WETLANDS TRANSITION
AREA WAIVER AS APPROVED BY
NJDEP ON FEBRUARY 21, 2019.
FILE NO. 0421-17-0001.2 FHA 180001
FILE NO. 0421-17-0001.2 FWW 180001
FILE NO. 0421-17-0001.2 FWW 180002

EXISTING
INFILTRATION/DETENTION
BASIN

EXISTING
BLOCK 601
LOT 1
1,046,878 S.F., 24.033 AC.

BOTTOM OF BASIN ELEV.=51.50

CHARLESTON AVENUE
(C.R. 668)
(R.O.W. WIDTH VARIES)

BLOCK 701
LOT 1

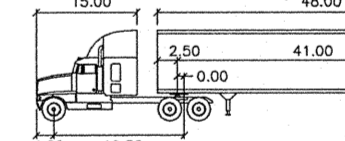
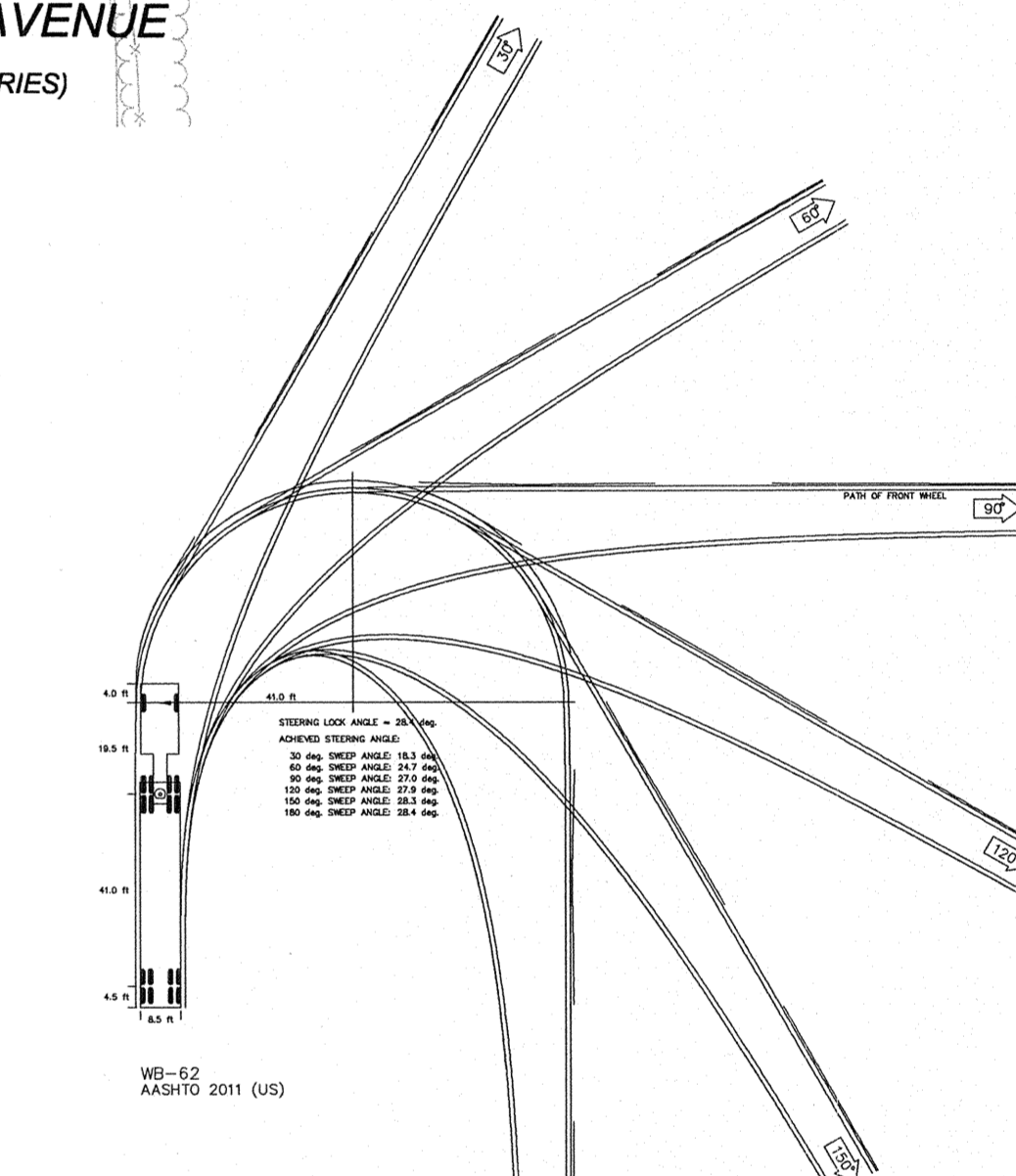
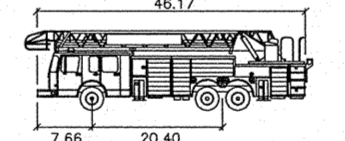
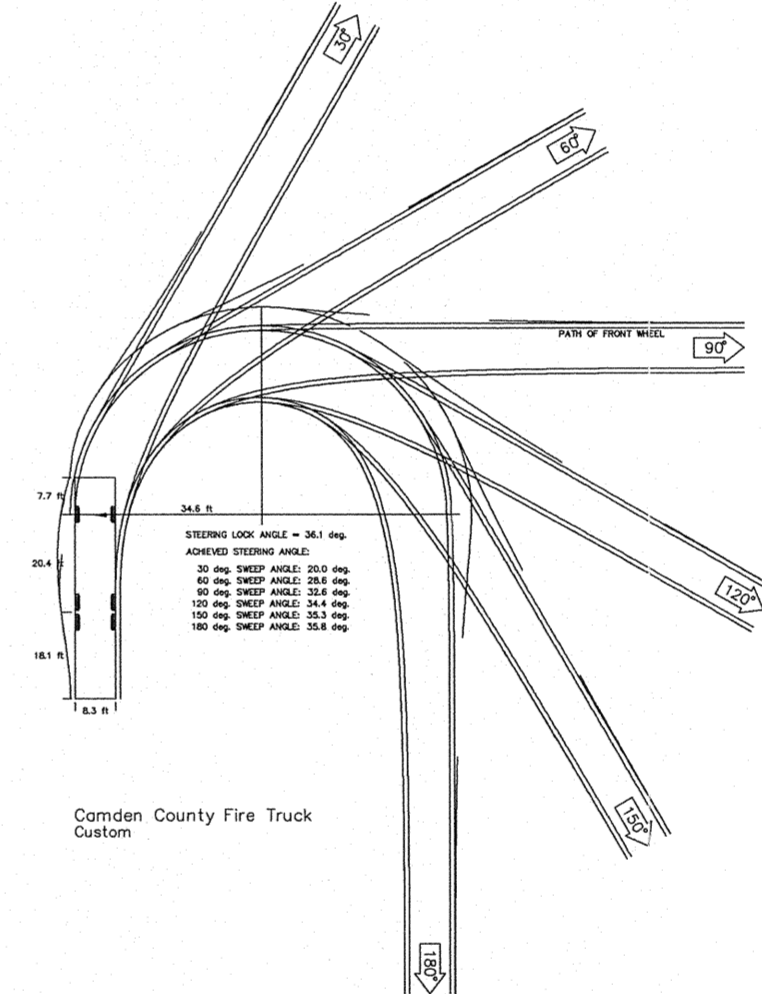
FLEX BUILDING "A"
61,250 S.F.
(24,490 S.F. OFFICE)
(36,760 S.F. WAREHOUSE)

PROPOSED
BLOCK 601
LOT 1.03
730,493 S.F., 16.770 AC.

PROPOSED FLEX BUILDING "B"
112,500 S.F.

FUTURE
FLEX B
37

PROPOSED
BLOCK 601
LOT 1.02
191,289 S.F., 4.391 AC.

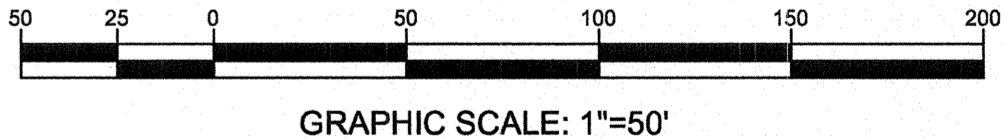


THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING STRUCTURES AND UTILITIES, WHICH HE DEEMS NECESSARY, BOTH ABOVE AND BELOW THE GROUND SURFACE BEFORE HEAVY EQUIPMENT ENTERS THE CONSTRUCTION SITE.

FINAL INQUIRIES TO "UNDERGROUND UTILITIES" (PHONE #: 1-800-272-1000) SHALL BE MADE BY THE CONTRACTOR AND/OR OWNER WITHIN SEVEN (7) DAYS OF ENTERING THE SITE. THE CONTRACTOR AND/OR OWNER SHALL COORDINATE AND VERIFY THE METHOD OF UTILITY LOCATION WITH THE APPROPRIATE UTILITY COMPANIES.

IN GENERAL, THE VERTICAL DESIGN OF PROPOSED GRAVITY UTILITIES, AS SHOWN, ARE INFLUENCED BY THE EXISTING GRAVITY UTILITIES ONLY, WHICH MAY NECESSITATE THE RELOCATIONS OF OTHER UTILITIES.

UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE, AND BASED ON EXISTING INFORMATION RECEIVED FROM UTILITY COMPANIES.



GRAPHIC SCALE: 1"=50'

MATCH LINE - SEE ABOVE

HIGHLAND AVENUE
(22' WIDE R.O.W.)

DESIGNED: VWK	DRAWN: AMH	CHECKED: FBR	CIRCULATION PLAN	
DATE SIGNED: 8-17-20		REVISIONS:	WOODCREST STATION BUSINESS PARK	
EDWARD P. BRADY		NO. DATE	101 WALTER A. GAINES WAY	
			PLATE 7.01, BLOCK 601, LOT 1	
			BLOCK 601, LOTS 1.01, 1.02, & 1.03	
			BOROUGH OF LAWNSIDE, CAMDEN COUNTY, NJ	
			Taylor Wiseman & Taylor	
			ENGINEERS / SURVEYORS / SCIENTISTS	
			124 Galtier Drive, Suite 150, Mt Laurel, NJ 08054	
			TELEPHONE: (856) 235-7200 FAX: (856) 722-9250	
			www.taylorwiseman.com	
			NJ CERTIFICATE OF AUTHORIZATION NO. 24GA28032900	
N.J. PROFESSIONAL ENGINEER NO. 24GE03283600	SCALE: 1"=50'	DATE: 8/17/2020	DRAWING NO. 2020-17854-WARESP2	SHEET: 13 of 13

Date: Aug 17, 2020, 10:53am